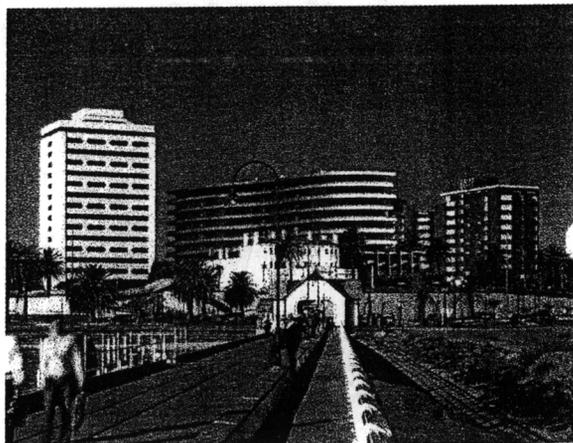


# URBAN DESIGN EVIDENCE

The Esplanade Apartments

urbis



Prepared for Becton Corporation Pty Ltd

July 2003

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## 1.0 INTRODUCTION

### 1.1 Name, qualifications and experience

My name is Andrew Olszewski and I am a Director of Urbis Pty Ltd, property consulting advisors, which conducts business from premises located at 120 Collins Street, Melbourne.

I hold a Bachelor of Architecture and Master of Science in Urbanism from the Tadeusz Kosciuszko Engineering University of Cracow, and have been practising as an architect and urban designer since 1972. I am registered as an Architect in Victoria. In the last 17 years I have been employed with the State Department of Infrastructure, the UNESCO International Centre for Engineering Education and the last 3 years with Urbis (see Appendix A).

My area of expertise is urban planning and design.

### 1.2 Instructions

In May 2003 I was requested by Becton Corporation to review the proposed development of The Esplanade Apartments located at the corner of The Esplanade and Victoria Street in St Kilda and to provide an urban design report for the Tribunal addressing urban design matters which I consider relevant to the Application for Review of the proposal.

### 1.3 Facts, matters and assumptions

In preparing this evidence, I have:

- relied on the analytical work included in my Urban Design Assessment prepared for the Panel considering Amendment C25 (Appendix B).
- considered the most relevant policies and planning controls in the Melbourne Planning Scheme.
- inspected the site and its urban context.
- reviewed architectural proposal prepared by Fender Katsalidis Architects (Town Planning set revised for VCAT June 2003).

## 1.4 Summary of the evidence

In the course of the preparation of this report, which included review of the relevant policies and urban context analysis, I have formed the opinion that the proposed development meets urban design criteria in the Port Phillip Planning Scheme expressed in clause 19.03 and design and development overlay, schedule 12 because:

- the proposal facilitates higher density residential accommodation.
- the proposal complies with the building envelope included in the overlay.
- the curvilinear design strategy adopted by architects supports the retention of the Esplanade Hotel as a local landmark.
- the proposal supports function and the physical character of The Esplanade.
- the proposal responds effectively to its varied urban context.
- the design of the corner of Victoria and Pollington Streets uses the modern architectural language to reflect the streetscape contribution of Baymore flats.

## 2.0 REVIEW OF THE POLICIES PERTINENT TO URBAN DESIGN ISSUES

### 2.1 State Planning Policy Framework (SPPF)

The most broadly applicable policy is the Victorian SPPF. The design and urban context implications for this site are contained in the 10 urban design objectives under 19.03 design and Built Form:

*To achieve high quality urban design and architecture that:*

*Reflects the particular characteristics, aspirations and cultural identity of the community  
Enhances liveability, diversity, amenity and safety of the public realm  
Promotes attractiveness of towns within broader strategic contexts.*

*Planning and responsible authorities must have regard to the following design principles:*

#### **Context**

*Development must take into account the natural, cultural and strategic context of its location.*

#### **The public realm**

*The public realm, which includes main pedestrian spaces, streets, squares, parks and walkways, should be protected and enhanced.*

#### **Landmarks, views and vistas**

*Landmarks, views and vistas should be protected and enhanced, or where appropriate, created by new additions to the built environment.*

#### **Pedestrian spaces**

*Design of the relationship between buildings and footpaths and other pedestrian spaces including the arrangement of adjoining activities, entrances, windows and architectural decoration, should enhance the visual and social experience of the observer.*

#### **Heritage**

*New development should respect, but not simply copy, historic precedents and create a worthy legacy for future generations.*

## **Consolidation of sites and empty sites**

*New development should contribute to the "complexity" and diversity of the built environment.*

## **Light and Shade**

*Enjoyment of the public realm should be enhanced by a desirable balance of sunlight and shade.*

## **Energy and resource efficiency**

*All building, subdivision and engineering works should promote more efficient use of resources and energy efficiency*

## **Architectural quality**

*New development should aspire to high standards in architecture and urban design.*

## **Landscape architecture**

*Recognition should be given to the setting in which buildings are designed and the integrated role of landscape architecture.*

The objectives of SPPF have been further refined through Amendment C25 to the Port Phillip Planning Scheme, in relation to the Esplanade Hotel location, which includes two properties; the Hotel itself and the adjacent site, subject of this development proposal.

## **2.2 Amendment C25 to the Port Phillip Planning Scheme**

The Esplanade site has been the subject of several planning considerations culminating in the Amendment C25 to the Port Phillip Planning Scheme. The Amendment includes specific design objectives and building envelope conditions:

PORT PHILIP PLANNING SCHEME

LOCAL  
PROVISION

## SCHEDULE 12 TO THE DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as DDO12

### ESPLANADE HOTEL SITE

#### 11-12 THE ESPLANADE AND 6 VICTORIA STREET, ST KILDA

##### 1.0 Design objectives

To recognise the central local landmark value of the Esplanade Hotel and secure its pre-eminent place among the landmark buildings of The Esplanade.

To recognise and enhance the experience of The Esplanade as a pedestrian and vehicular promenade.

To respond to the character and amenity of the local residential area.

To encourage a built form that responds to the site's development potential to provide some higher density residential accommodation.

To ensure that new development is highly articulated and modulated within the height and setback controls.

To ensure that scale and massing at street interfaces acknowledges and mediates the surrounding built form.

To ensure that there is an appropriate transition in building scale between the perimeter and core areas of the site.

To ensure that new development will positively contribute to the diversity of the built form of The Esplanade.

To ensure that new development responds to (and does not dominate) other built form elements along The Esplanade.

To ensure new development is of a height that consolidates the predominant massing and skyline profile of The Esplanade and St Kilda Hill as seen from relevant vantage points.

To ensure that new development protects and positively responds to the character and amenity of the St Kilda foreshore.

To ensure that the location and design of new development take into account the following:

- The legibility of the façade and main section of the Esplanade Hotel from:
  - St Kilda Pier and foreshore area between the Pier and The Esplanade; and
  - The Esplanade (including the north-east corner of the intersection of Pollington Street and The Esplanade).
- The view along Victoria Street and Pollington Street south-west towards Port Phillip Bay.
- The view to The Esplanade and St Kilda Hill from St Kilda Pier and the foreshore.

To take into account and enhance the view to the hotel from the south-east corner of the intersection of Victoria Street and The Esplanade.

To ensure that any new development on the south-east corner of the site has regard to the urban design contribution made by the Baymor flats building to the built form and streetscape of Victoria Street and Pollington Street.

To ensure that the reasonable access, operational and service needs of the Esplanade Hotel are appropriately addressed such that the cultural significance of the hotel is not compromised.

PORT PHILLIP PLANNING SCHEME

LOCAL  
PROVISION

To ensure that development does not overshadow the foreshore in midwinter, and that it minimises overshadowing of The Esplanade and Alfred Square Gardens in midwinter.

To ensure buildings do not unreasonably overshadow private open space of neighbouring residential properties.

To ensure that new development exhibits design excellence.

## 2.0 Buildings and works

### Height

A permit cannot be granted for buildings and works exceeding the maximum height specified in the plan forming part of this clause other than:

- Architectural features such as domes, towers, masts and building services may exceed the maximum height by up to 4 metres providing they do not exceed 10% of the gross floor area of the top building level; and/or
- Minor buildings and works, such as architectural features, balconies, shelters, sunshades, artworks, street furniture and fences may be constructed at a height greater than the height specified in the plan forming part of this clause.

### Setbacks

A permit may be granted for minor buildings and works, to vary the setback distance from the boundary specified in the plan, where it can be demonstrated to the satisfaction of the responsible authority that the variation will achieve the design objectives. Balconies may be permitted within the setback provided they comprise minor building elements, contribute to the overall design of the building and do not contribute to the overall bulk of the building.

### Overshadowing

All buildings and works shall be designed to:

- Ensure that there is no overshadowing beyond the kerbline on the southern side of Jacka Boulevard road reserve adjoining the Port Phillip Bay foreshore between the hours of 10.00 A.M. and 4.00 P.M. on 22nd June.
- Minimise shadows beyond the western kerbline of The Esplanade between the hours of 10:00 AM and 4:00 PM on 22nd June.
- Not unreasonably overshadow the Alfred Square Gardens having regard to the extent of sunlight which would continue to be available during the 6 hour period between 10.00 A.M. and 4.00 P.M. on 22nd June.

### Volumetric Controls

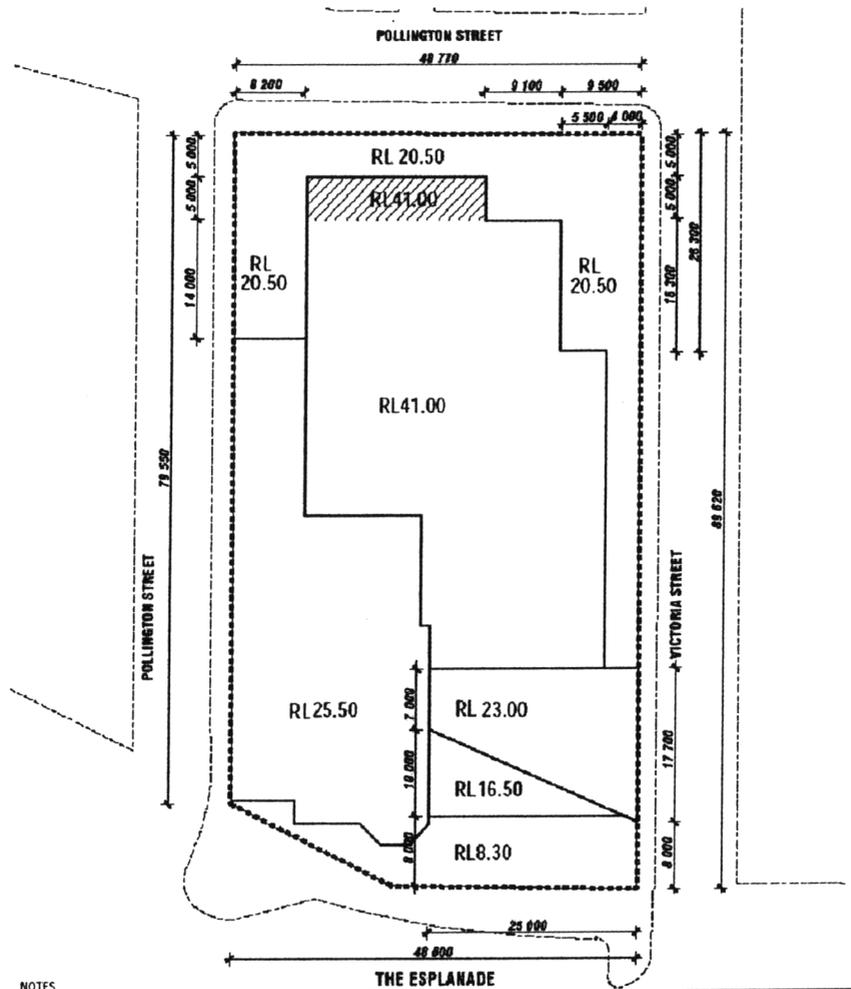
A permit cannot be granted for buildings or works:

- With a building volume for that part of the building above RL 20.50 (being the gross floor area for that part of the building above RL 20.50 and within the overall RL 41.00 envelope, multiplied by the height of that part of the building above RL 20.50) exceeding 26,445 m<sup>3</sup>; or
- with a gross floor area exceeding 55 m<sup>2</sup> for each level of the building above RL 20.50 and within that part of the RL 41.00 envelope shown hatched.

For the purpose of this schedule the space occupied by architectural features, balconies, roof plant, other external building services and other minor buildings and works is to be excluded in the calculation of a building volume to the satisfaction of the Responsible Authority.

LOCAL PROVISION

PORT PHILIP PLANNING SCHEME

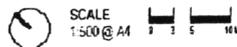


NOTES

NOTHING IN THIS PLAN IS TO INFLUENCE THE CONSIDERATION OF THE HERITAGE PROVISION PURSUANT TO CLAUSE 43.01 OF THE PORT PHILIP PLANNING SCHEME. THE SPECIFIED MAXIMUM HEIGHT WILL ONLY BE ABLE TO BE ACHIEVED BY A BUILDING MEETING THE DESIGN OBJECTIVES AND OTHER PROVISIONS OF THE SCHEDULE.

PORT PHILIP PLANNING SCHEME  
DESIGN & DEVELOPMENT OVERLAY - SCHEDULE 12  
PLAN FORMING PART OF CLAUSE 2.8 OF SCHEDULE 12

levels shown thus RL0.00 are  
in metres to Australian height datum



## 3.0 SITE CONTEXT

The subject site is located on the corner of The Esplanade and Victoria Street, St Kilda. It is elevated and forms a part of rectangular island block bounded by the Upper Esplanade, Victoria Street and Pollington Street (see Appendix C).

It occupies a prominent position on St Kilda's Upper Esplanade, located between two of Melbourne's most popular activity precincts being Fitzroy and Acland Streets, with the site forming a part of a promontory, on which significant views from surrounding locations converge. The Esplanade Hotel site forms the other part of the promontory.

The Hotel represents the most prominent element of the overall context for the Esplanade Apartments development. Located on the corner of The Esplanade and Pollington Street, the hotel building represents an example of Victorian period of development of St Kilda. The Hotel is recognized as having both regional and local significance. Baymore Flats are recognised as buildings of local significance.

Due to the island nature of the block, the street network forms the direct interface to the site. The areas immediately north, west and east of the Hotel site are predominately residential and form part of the area traditionally known as St Kilda Hill. Pollington and Victoria Streets contain mostly residential land uses of two types. The eastern perimeter is characterised by detached and attached housing form, generally of a low scale and height. To the north and south of the site are higher apartment buildings (Arrandale and Bayview), each with between 10 and 15 storeys in height ( see Appendix B).

5.0 URBAN DESIGN ASSESSMENT

An urban design assessment is based on the specific objectives of DDO 12 and the broad principles of clause 19.03 of the planning scheme.

*hardly looks at any others. certainly not in detail.*

The most prominent DDO 12 objective is to recognise central, local landmark nature of the Esplanade Hotel. The proposal employs the following design devices to achieve this objective:

- The Esplanade podium facade is lower than the Esplanade Hotel and recessed from the street in order to maintain visual prominence of the Hotel within the Esplanade frontage.
- The proposed podium facade is fully glazed in contrast to traditional masonry facade of Esplanade Hotel.
- The apartment component is set back even further and designed to appear fully detached from the shape of the Hotel. Its curvilinear, horizontal lines help to minimise its virtual impact on both; the Esplanade Hotel and the broader foreshore frontage.

*opposite to the agreed conditions. for this is not the aim (see other objectives) eg "positively contribute to..."*

The Upper Esplanade represents a unique pedestrian experience within Inner Melbourne where the natural elevation allows sweeping views of the Bay. The proposal strengthens the Esplanade by providing an attractive and active frontage with coffee shop and convenience store replacing the existing bottle shop.

*OK, but the bldg above the coffee shop??*

The relationship of the proposal with its context, in particular local residential area is resolved by:

- creation of the 2 storey podium designed to complete and compliment the existing scale and rhythm of Victoria and Pollington Streets.
- the townhouse model used for the podium includes independent street entries or balconies with street access. This situation will maximise building interaction with the street and compliment individual entries to buildings on the opposite side of the street.
- the detachment and setback of the taller apartment component from the immediate street environment. The curvilinear form used for this component limits the direct visual interface between existing buildings and the proposed apartments. In addition the facade of the proposed building includes the combination of architectural details intended to animate the facade and convey a strong residential image of the project.

*they are already complete with Baymore! (but see explanation next page by AD)*

*OK*

*an interesting version of "engagement" with local residential context. The more anonymous the better?*

*what exactly is this "strong residential" image "???"*

## 4.0 THE PROPOSAL

The proposal is based on retention of the Esplanade Hotel structure and preservation of its streetscape role (see Appendix B). The new development occupies L shape site wrapping around the Hotel building. The proposal includes the following:

- 3 level retail/ apartment and associated terrace component providing active interface to the Esplanade.
- 2 level town house podium completing streetscape of Victoria and Pollington Streets.
- 9 level central apartment component.

The project will include 97 apartments and the retail component including 80 sq m Convenience store and Café for 40 seats with the attached terrace (see Appendix D).

The development proposal includes replacement of existing Baymore Flats with the new town houses. At present several incomplete or derelict aspects of the site are visible from Victoria and Pollington Streets. Having regard to these aspects, Baymore Flats provide an important stabilising effect along Victoria Street. In addition, the complex and interesting façade of the Flats reinforces the St Kilda foreshore eclectic architectural character.

Baymore  
OK  
✓

The proposal recreates the traditional street environment, and provides balance between the opposite façades in relation to the scale rhythm and architectural complexity while greatly improving passive surveillance conditions. It offers a general improvement and completion of Victoria and Pollington streetscapes with the special treatment reserved for the North East corner.

The only strong positive relevant statement so far

Fender Katsalidis Architects are widely recognised for their ability to design an engaging and innovative solutions for the pedestrian oriented ground floors such as Melbourne Terrace or Republic Tower. In these and many other instances their designs resulted in solutions, which in my opinion will form future architectural heritage. The proposed Victoria and Pollington corner treatment indicates a design potential of this approach, which clearly needs further development of its urban art component. It appears that many ingredients are already incorporated into design. Including natural timber, rendered dado walls and urban art providing light hearted counterpoint to the main building façade.

but the design fails in its composition how the components are put together.

This approach suggests that the new corner will perform a similar role to Baymore Flats in announcing the foreshore to people arriving from Acland Street and providing the visual complexity and interest to Victoria Street. I have seen Yvonne von Hartel's report and I agree that the urban art component needs further development, perhaps in consultation with the community and the Council.

The designers of the Esplanade Apartments deserve credit for achieving architectural innovation while successfully responding to the long list of specific design and planning objectives included in DDO 12.

The proposal has the strength and integrity of architectural form rarely seen along the foreshore, capable of repairing some of the damage done by the adjoining residential blocks. It offers the clarity of the main concept (juxtaposition of free flowing apartment concept on rectangular base) together with the promise of diverse elevational treatment and design detail. Most importantly, it captures many aspects of the St Kilda spirit, which was traditionally one of Melbourne's laboratories for the development of new architectural styles.

We agree with all this (if you allow "promise" as un-fulfilled)

The proposal complies with the DDO 12 envelope and has limited overshadowing impacts.

The proposal facilitates a range of higher density residential accommodation models in the area which is strongly supported by the existing public transport system.

## 6.0 CONCLUSIONS

I conclude that the proposal satisfies the DDO 12 objectives and the broader design principles of clause 19.03 and in particular it:

- facilitates higher density residential accommodation in the part of St Kilda activity area which is very well serviced by the public transport.
- supports the preservation of the Esplanade Hotel as a central local landmark.
- provides balanced response to urban context requirements and limits offsite impacts.
- meets the building envelope requirements.

The architectural design of the proposal is fresh, innovative and has capacity to visually repair this important section of the foreshore frontage.

I believe that this proposal meets and exceed the design objectives set in the DDO 12 and I recommend the proposal for approval by the Tribunal.

*interesting concept!*

Andrew Olszewski  
Director  
Urbis Pty Ltd

Qualifications: Diploma of Architecture and Master of Science in Urbanism (Cracow, Poland)

Registered as an Architect in Victoria

Director, Urbis

Andrew Olszewski has 30 years experience in architecture, urban planning and urban design. He originated from Poland and honed his professional skills in co-operation with influential European architects and planners from Italy, France, Finland and Germany.

Prior to joining the Public Service in late 1986, Andrew worked as an architect with one of the leading Australian development companies on several major commercial projects including shopping centres, offices, private hospitals, office and tourism developments.

Following a success in a national design competition (Adelaide 2000) Andrew joined the Victorian Department of Planning and Development where he has promoted a broader European approach to urban planning and design. Projects such as the Southbank Structure Plan, Arts Village and Dandenong District Centre Urban Design Framework helped to re-define the practice of urban design in Victoria beyond its traditional focus on environmental improvements, to also include issues of transport, economic activity, architectural modelling and community building.

Andrew played a key role in the development of urban design guidelines for Central Melbourne and made an important contribution to the Capital City Policy. He negotiated urban design issues with developers in relation to wide range of housing, commercial and entertainment projects of State importance.

He has continually promoted the idea of strategic co-ordination of land uses with infrastructure provision as one of the critical conditions of long term development sustainability. Andrew contributed these ideas to projects of state significance such as City Link, Habitat and the Southbank Structure Plan.

Andrew, together with Stephen Axford and Peter Tesdorpf, developed the national urban design policy for Local Government - Designing Competitive Places (for the Commonwealth Government and Australian Local Government Association -1997).

From 1999, Andrew has lead the international Urban Design and Education Program at the UNESCO International Centre for Engineering Education. This program is carrying out research into international standards for the assessment and analysis of urban design projects, and also develops training courses for both professionals and managers.

Since 2000 Andrew is leading international and local urban design practice at Urbis.

**Most recent publications:**

**Emotial Capital, a new approach to creating livable communities**, 5th International Symposium on Asia, Pacific Architecture, creating livable communities in Asia Pacific, American Institute of Architecture, University of Hawaii (Hawaii, USA 2003)

**City as a Motion Picture**, National Conference of Australian Institute of Landscape Architects (Melbourne, 1996)

**Designing Competitive Places**, An urban design policy and guide for Local Government in Australia (Canberra, 1997) developed for Commonwealth of Australia and Australian Local Government Association, published jointly with Stephen Axford, Peter Tesdorpf and Sandi Young

**Urban design education of engineers as means of achieving more livable and sustainable cities**, keynote address, 1st Annual Conference on Engineering Education (Melbourne, 1998), UNESCO International Centre for Engineering Education

**Educating for urban design and sustainable development**, UICEE 2nd Annual Conference - Networking In Engineering Education (Auckland, New Zealand, 1999), a keynote address at the UNESCO International Centre for Engineering Education conference.

**Area of relevant expertise**

Specialist urban designer

Significant experience in the area of public urban design policies

Particular expertise in resolution of design and spatial relationship issues in relation to medium density housing

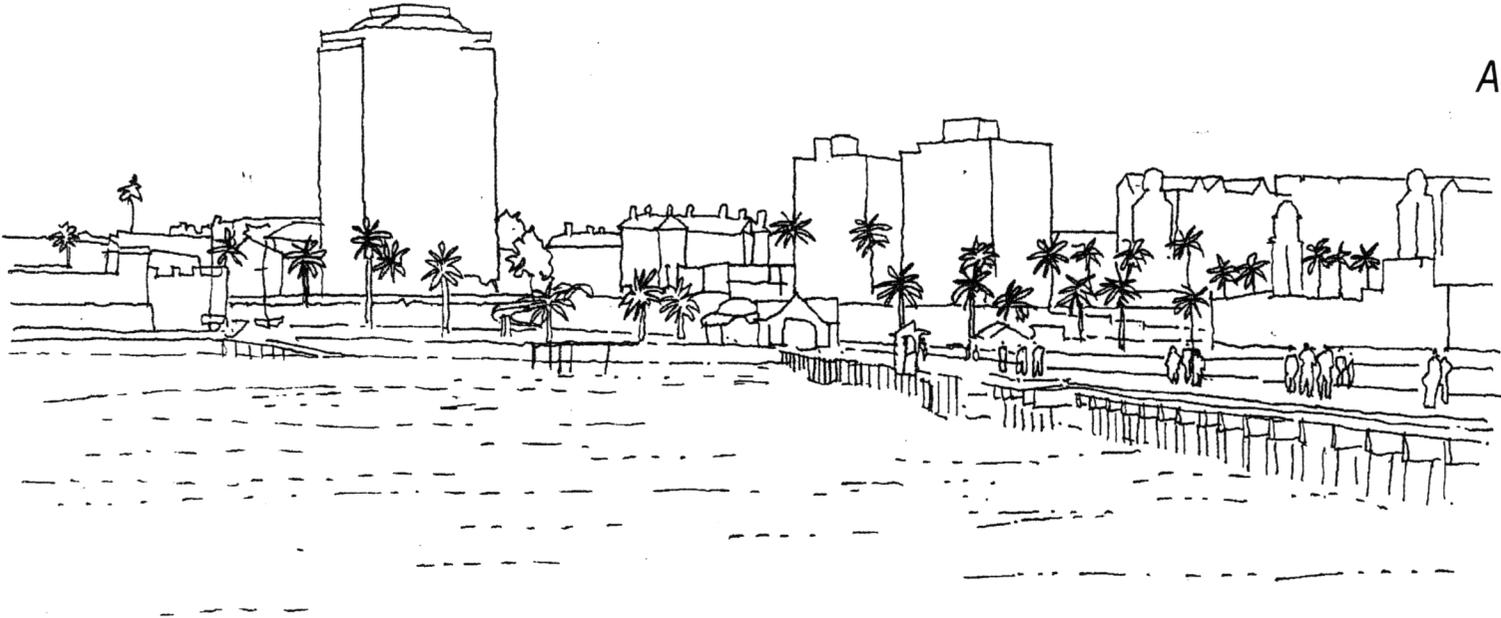
Experience in place management through urban design guidelines and development codes

Senior adviser to State Government on urban design issues ( Ass, Director Urban Design Projects of the Department of Infrastructure until January 1999).



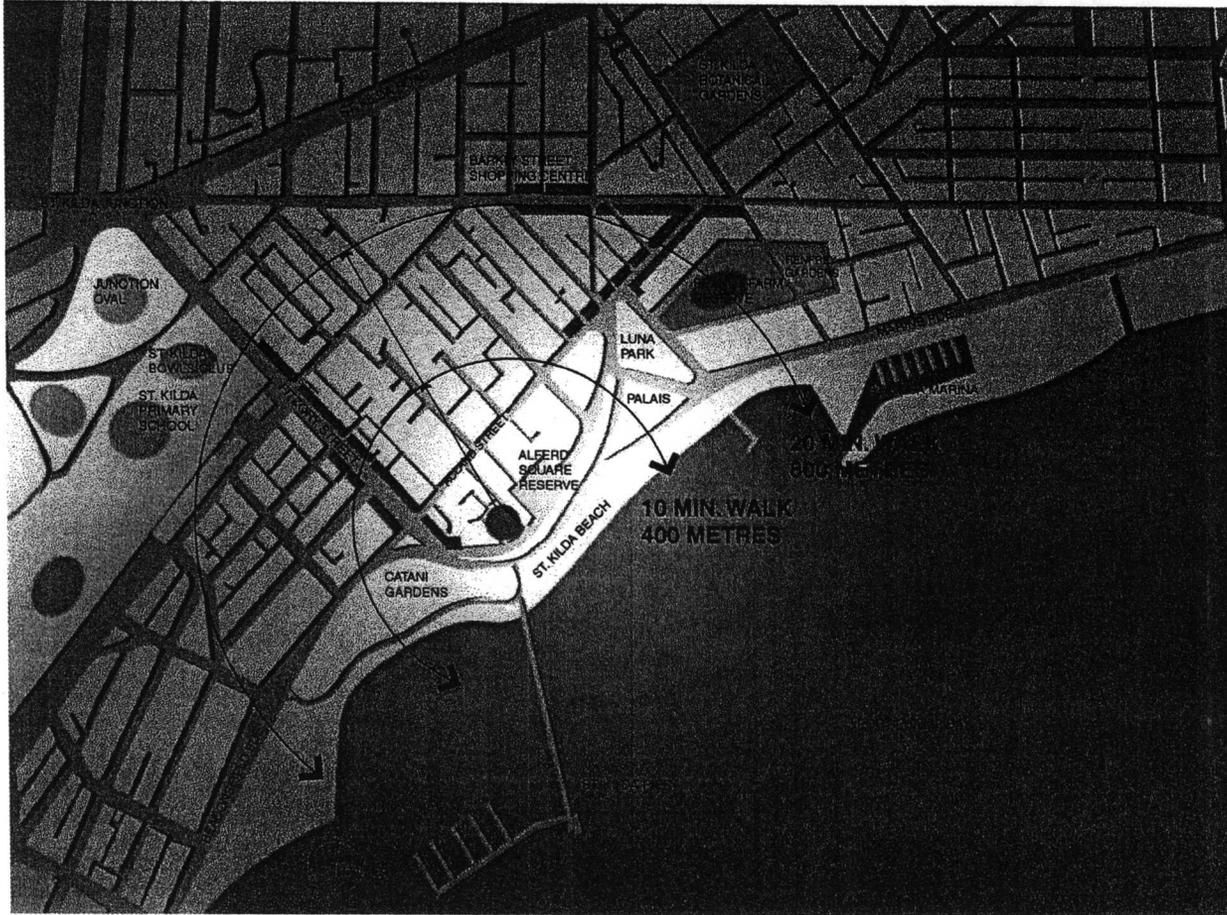
# Urban Design Assessment

*Proposed Planning Scheme  
Amendment C25- City of Port Phillip*



The Esplanade Hotel  
St Kilda

Prepared for Becton  
by urbis Pty Ltd



## 5.2 Local Level Analysis

The local context of the site includes the following elements (refer to diagram F):

- Alfred Square
- Catani Gardens
- St Kilda pier
- Fitzroy Street
- Acland Street
- Escarpment

The urban forms of this section of the foreshore including the lower plain of the shore between the Lower Esplanade and the Beach and the top of the escarpment defined by the Upper Esplanade.

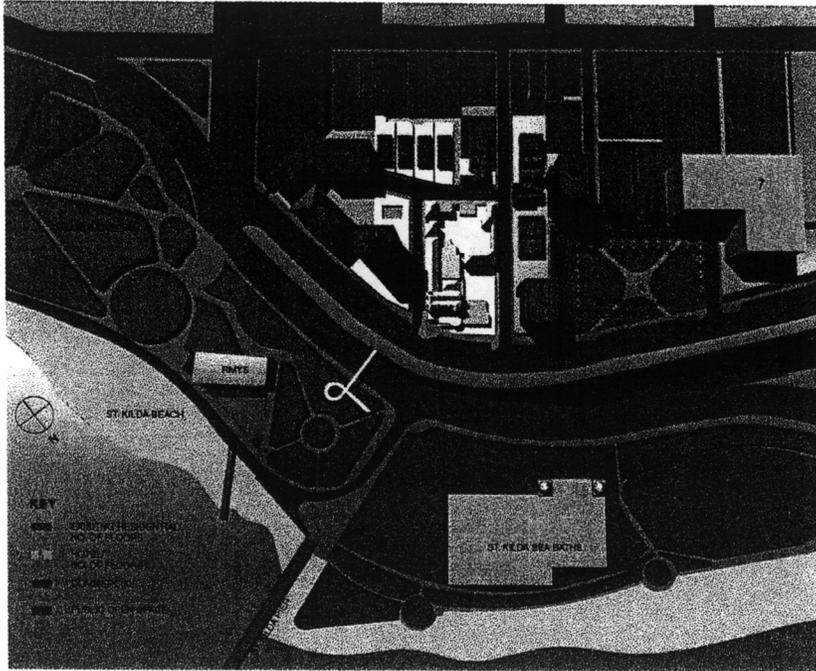
The geometry of this area includes the bend in the road co-inciding with the highest point of the hill and the site.

The site interface with its immediate context includes:

- Pollington Street (north/west) – this street is dominated by the 15 storey apartment block.
- Pollington Street (north/east) is characterised by small-scale residential development.
- Victoria Street includes 10 storey apartment block and small single storey development.

Further away, alongside the Alfred Reserve a 10 storey block of flats and tall 7 storey Novotel Hotel are located.





#### Local Context - Height

The existing heights of local buildings are shown within the St Kilda Hill area.



#### Local Context - Upper Esplanade Elevation

Indicative existing building massing along the upper esplanade of St Kilda Hill and the adjacent bayside



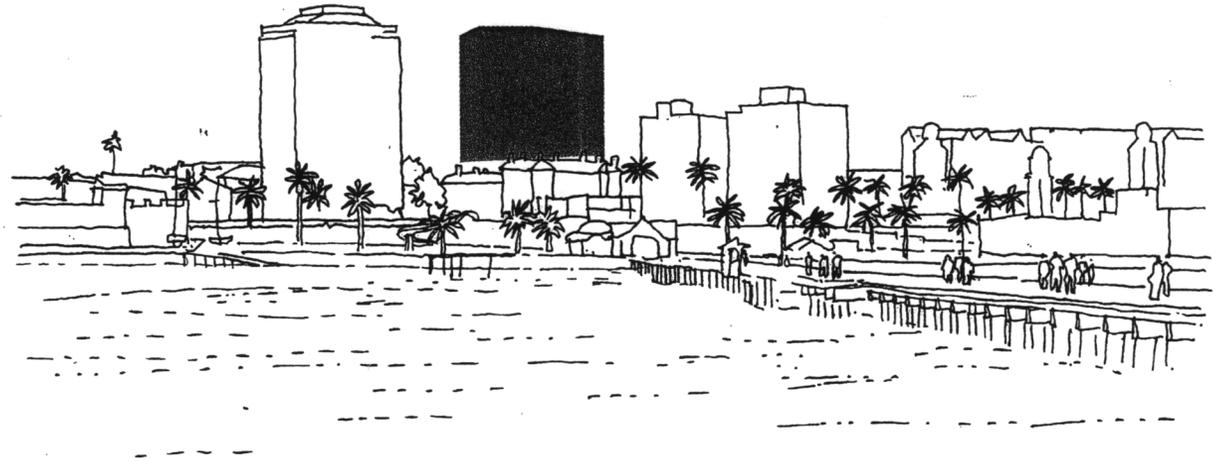
#### Local Context - Upper Esplanade preferred massing

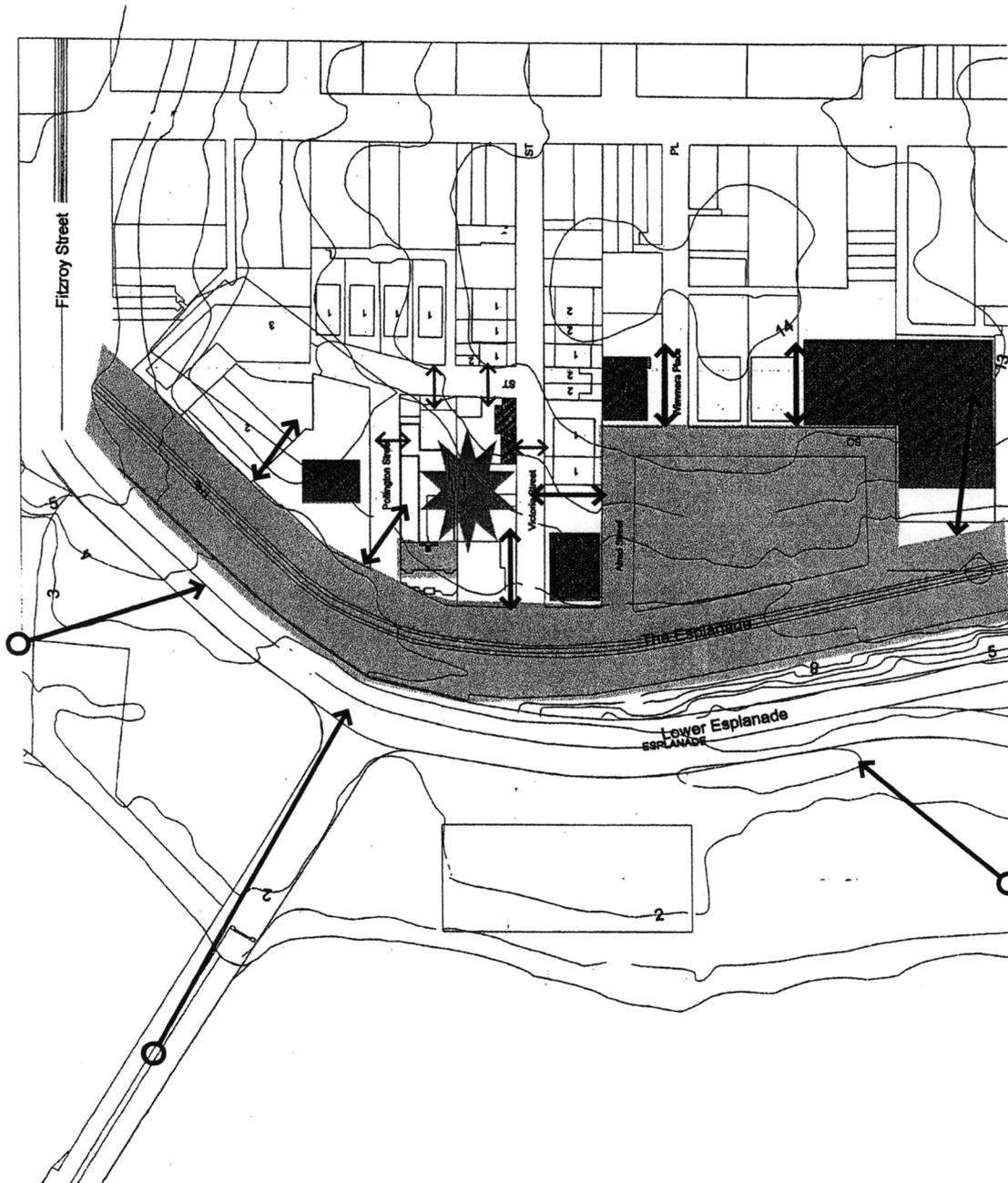
The missing tooth effect at the Esplanade Hotel site on the overall streetscape give undue importance to the two existing tall elements. This elevates them to the status of de-facto icons of St Kilda forshore.

The eclectic collection of buildings with the exception of Pollington Street (north/east) which form the edge of the site suggests that the Esplanade Hotel site could provide greater level of integration and consistency to the site.

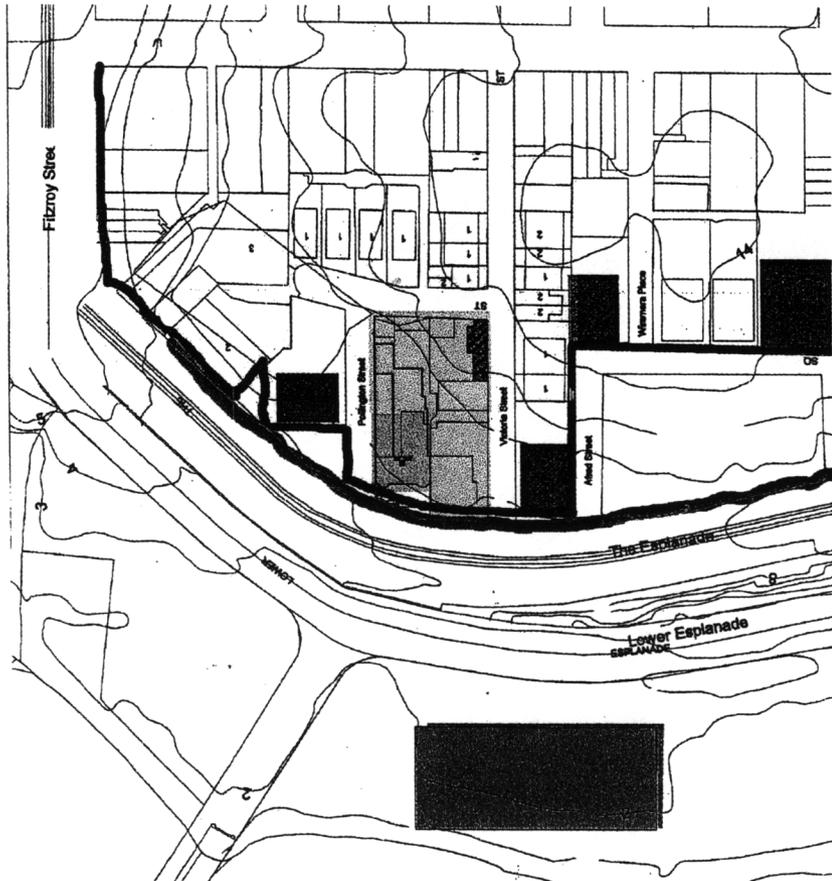
The main objective for the site relates to its strategic role as a termination of the vista and opportunity to complete the Upper Esplanade frontage.

Resolution of these issues should include establishment of the effective relationship between the Esplanade Hotel complex and a potential new development. The Esplanade Hotel should be able to continue to be recognised within the upper Esplanade streetscape as a distinct architectural element, while new structure behind it should be relatively neutral and capable to be read as secondary visual element when viewed along the Upper Esplanade.



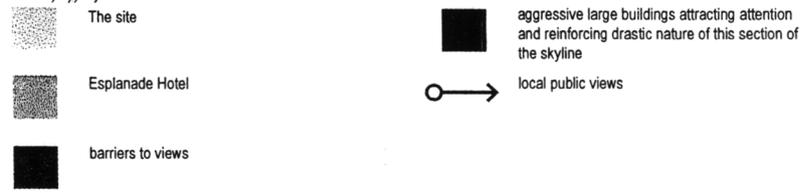
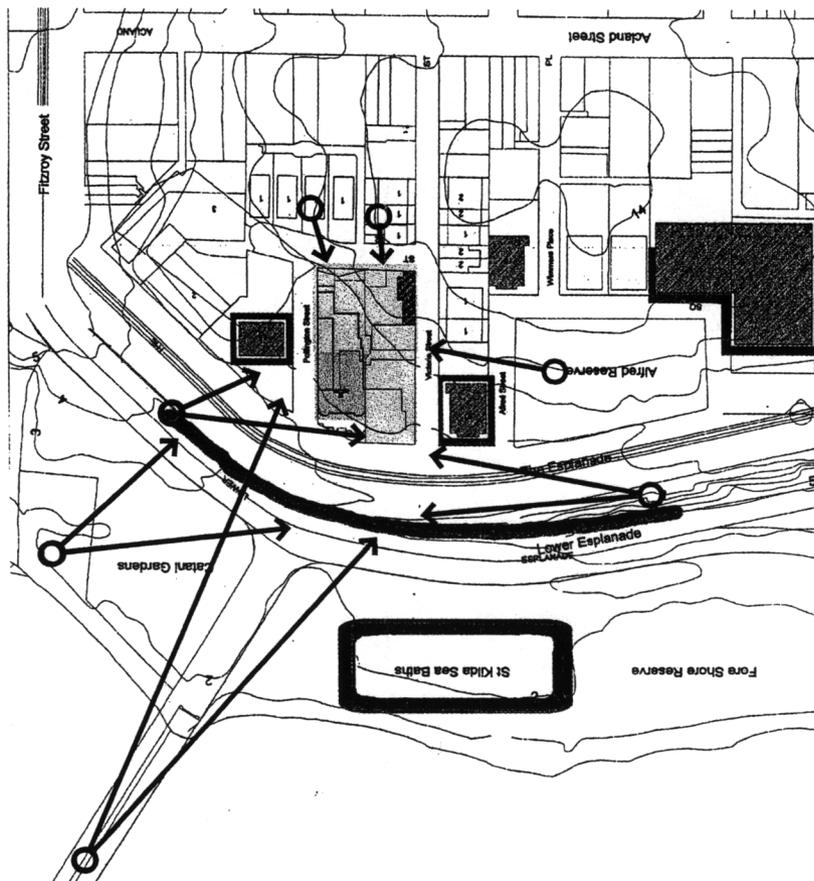


-  Interface with local residential area
  -  Interface with public realm - need to provide a cohesive edge
  -  local public views to site
  -  the site represents potential to terminate vistas and mitigate between two adjoining towers
  -  Esplanade Hotel
  -  Public realm
- Local Analysis



**Local Context - Urban Form**

Note the Sea Bathes building effectively blocking views to the Bay from the Esplanade.



**Local Context - Views**

Diversity of local views illustrated.

**Outcomes of local context review**

The capacity of the site to improve streetscape will depend on:

- 1 being closely aligned to existing façade
- 2 minimising the extent of the site elevation when viewed along the Esplanade
- 3 maximising the breadth of the façade
- 4 matching and mediating between the heights of adjoining buildings
- 5 having capacity to accentuate in vertical form the line of the original subdivision
- 6 maintaining strong presence of Esplanade Hotel against impacts of the adjoining area

## 6.0 ESTABLISHMENT OF URBAN DESIGN ASSESSMENT CRITERIA

The above review of public policies exposed a number of recurring objectives that I have condensed into the following broad urban design objectives.

6.1 The design of new development should respect its natural and built context

It is a basic urban design premise that the development should work with the natural form of the land. The site is located within a unique topographical part of Melbourne. Some of the key criteria relating to this objective include:

- Buildings should generally reinforce topography.
- Curving nature of the Upper Esplanade façade should be supported by new development.
- Highest building should be at the apex of the curve.
- The built form of the Esplanade Hotel

6.2 New development should positively contribute to the strategic policy framework

Council's policies provide information regarding the community's agenda for the future. The important aspects are identified as being:

- The importance of St Kilda as one of Melbourne's premier tourist attractions.
- The attractiveness and magnetism of the location due to the foreshore and also because of the many cultural and leisure destinations offered.
- Maintaining the character of the area.
- Minimising potential for new development to detrimentally impact on adjoining properties and open space through overshadowing.

6.3 The architectural language of new development should acknowledge desire for human scale

Council's Urban Design Policy for non-residential development and multi-unit residential development specifically outlines Council's objectives in this regard (refer to Clause 22.06).

6.4 New development should aspire to high levels of sustainability

Council's Urban Design Policy for non-residential development and multi-unit residential development specifically outlines Council's objectives in this regard (refer to Clause 22.06).

## 7.0 URBAN DESIGN ANALYSIS

The site is ideally placed to support an eastern reference point to frame city views of the bay, a role currently performed by Arrandale. The western point of reference is already established by emerging development at Beacon Cove and Port Melbourne and by the Williamstown Peninsula.

### 7.1 Respect to natural and built context

The Esplanade Hotel site must respond to two levels of urban context, the strategic and the local.

#### - Strategic Level

At this level the potential development on the site should assist in completion of the St Kilda skyline. To achieve this the new development should match, or preferably exceed to the height of its neighbours by a one to two floors to complete the curving form of the Upper Esplanade frontage.

The previously discussed significance of this area and the urban design analysis suggest the need for an attractive and effective architectural solution on the site. The difference between Council and Becton's proposal should ultimately be considered from that position. Council's proposed controls appear to be excessive and more restrictive than the controls which protect the Shrine Vistas. Notwithstanding this there is little evidence of a strategic justification or analysis behind them.

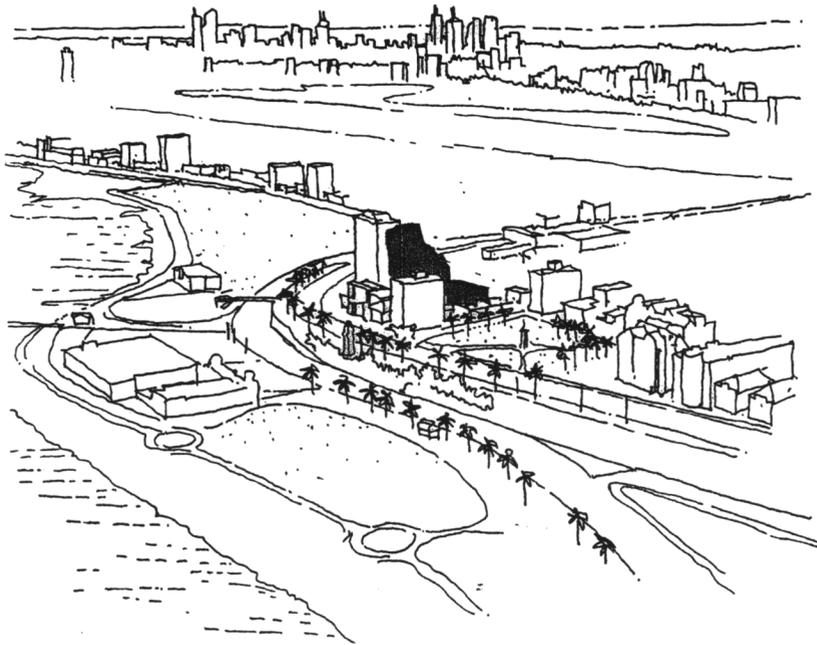
If the very specific controls are desirable the Becton Amendment would allow the built form to more appropriately respond to the broader urban context.

#### - Local Level

At the local level the development should respond to the needs of the Esplanade Hotel by establishing appropriate setbacks. Equally important is mitigating the effect of taller built form on the overall scale of residential development to the north-east.

Both proposals provide appropriate setbacks to the Esplanade Hotel.

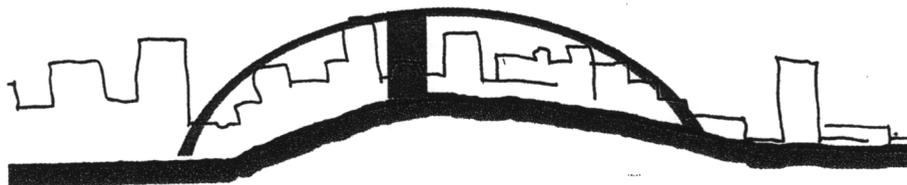
While a taller built form than proposed by Council and Becton would be a more appropriate response to the overall built topography, there are overshadowing impacts associated with this solution. Both amendment proposals provide a compromise between building height and overshadowing impacts to Albert Park and the Upper Esplanade.



Possible building massing

### Strategic Level

Role of the site in the completion of the St Kilda skyline



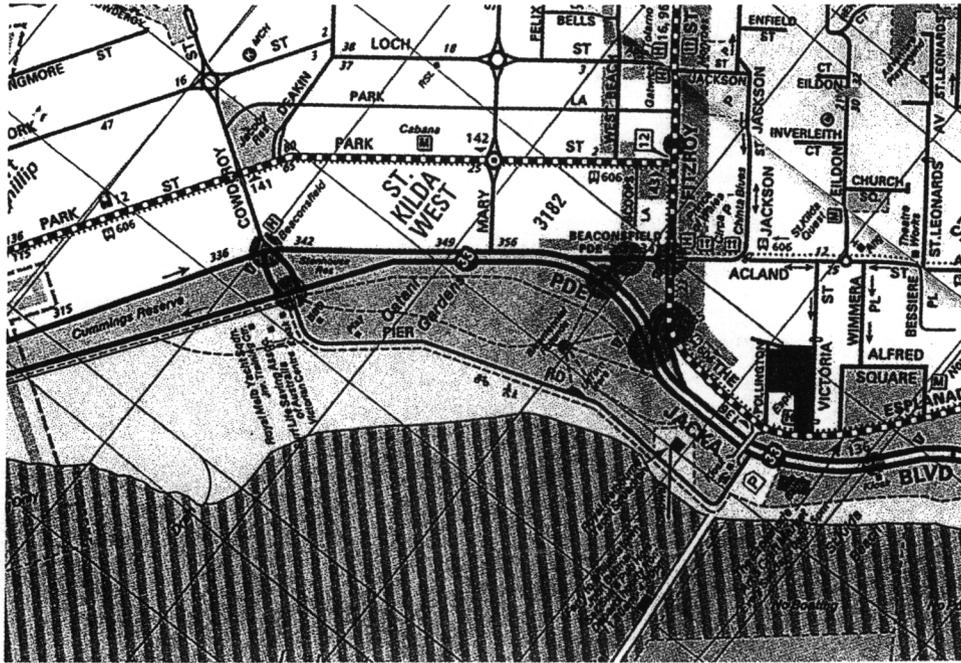
### Strategic Level - Upper Esplanade natural and built context

There is a need for the St Kilda Hotel site to re-establish the importance of St Kilda Hill as a defined bayside focal point, to complete the missing tooth effect and to reinforce the natural topography.





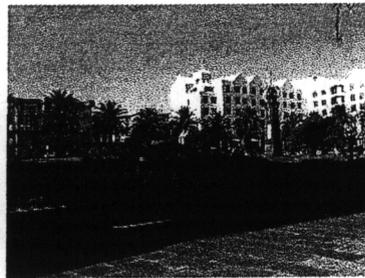
Areal photo



Site location



St Kilda Pier



Albert Square



The Esplanade

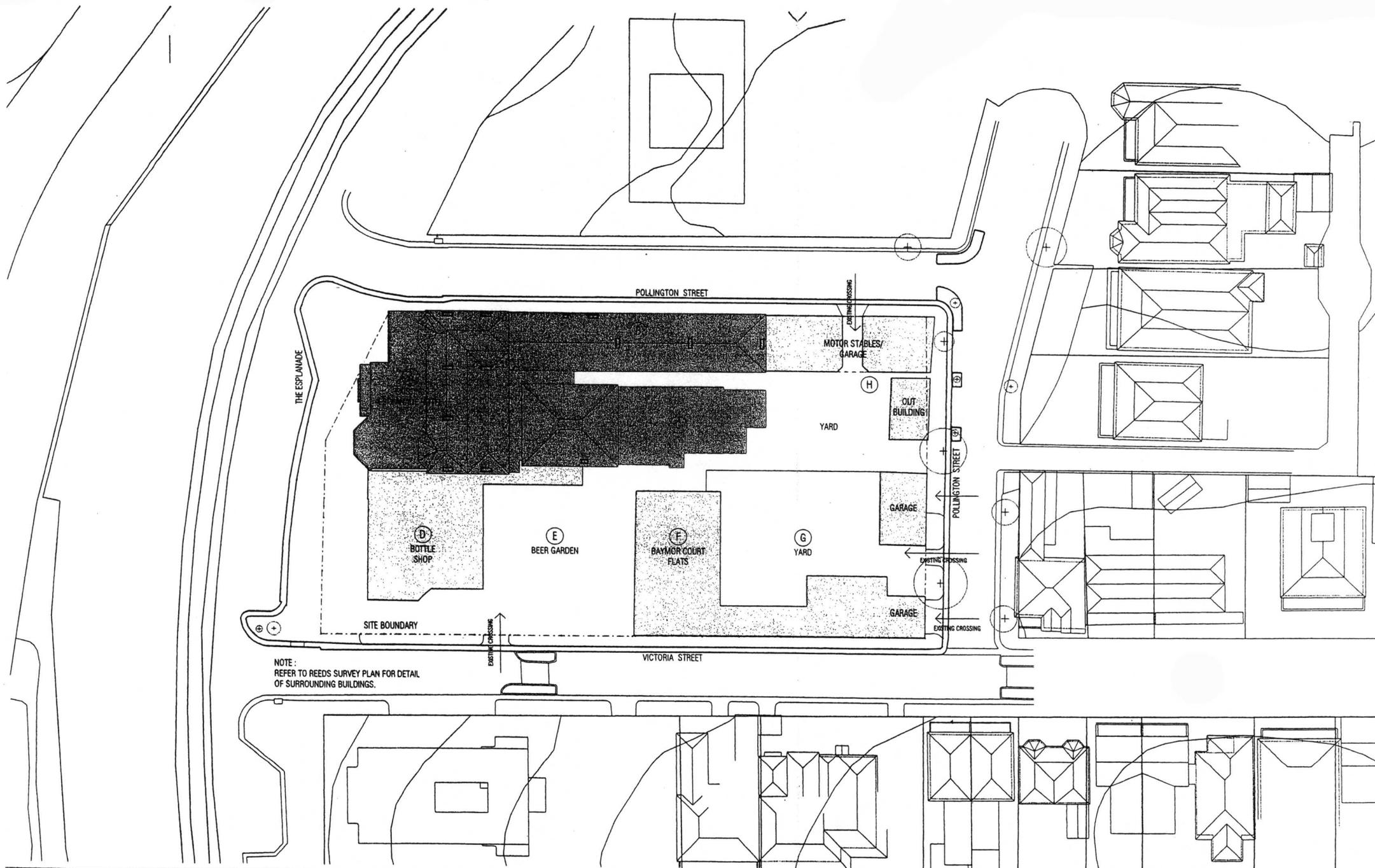


The Esplanade Hotel



Bayview Apartments





NOTE:  
REFER TO REEDS SURVEY PLAN FOR DETAIL  
OF SURROUNDING BUILDINGS.

LOADING SET  
25.09.2002

NOTE:  
Check and verify all dimensions prior to commencement of work. This drawing shall be read in  
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specifications. Seek clarification of measurements/specifications. Figure dimensions and take precedence  
in scaled dimensions.  
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SCALE  
1:500@A3

DATE	REVISION	BY	DATE
25.09.2002			20.06.2003
			20117

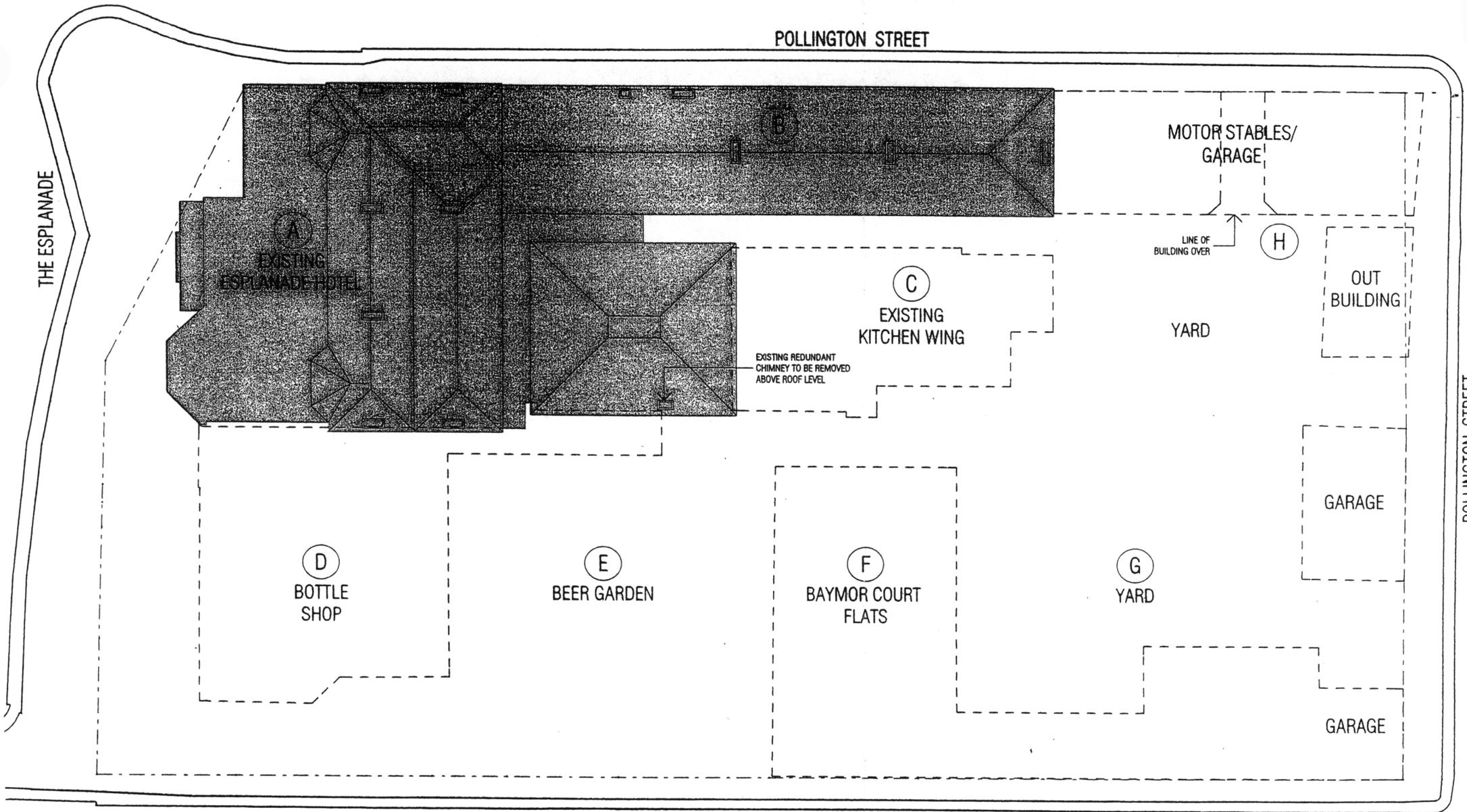
PROJECT  
THE ESPLANADE APARTMENTS

EXISTING SITE CONDITIONS

Architects  
70 CITY ROAD SOUTHBRANK  
3804 VICTORIA AUSTRALIA  
61 3 8888 8888 TELEPHONE  
61 3 8882 8822 FACSIMILE

DESIGNER: CLAUDIO G.  
TOWN PLANNING

TP001



**LEGEND**

- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING BUILDING TO BE RETAINED
- BOUNDARY LINE
- BUILDING OVER
- ELEMENT WITHIN RETAINED BUILDING TO BE REMOVED

REVISIONS  
 LOCATION SET  
 19.05.2001

**NOTES**  
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NO.	DATE	ISSUED BY	DATE	PROJECT
01	17.05.2002		20.05.2003	20117

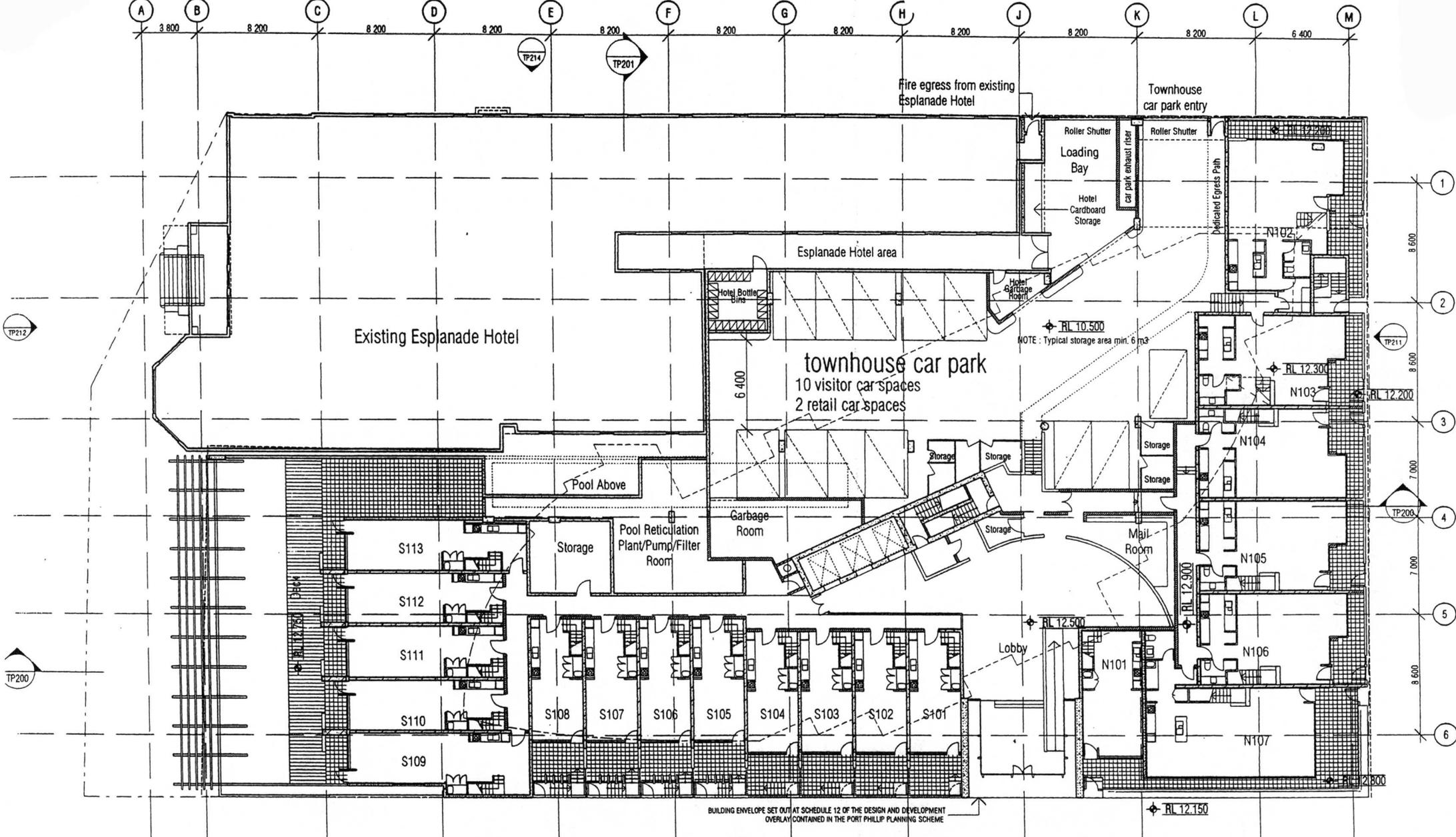
SCALE  
 1:250@A3

PROJECT  
 THE ESPLANADE APARTMENTS

DRAWING TITLE  
 DEMOLITION PLAN  
 GROUND LEVEL

70 CITY ROAD SOUTHBRANK  
 3086 VICTORIA AUSTRALIA  
 03 9488 8888 TELEPHONE  
 03 9488 8826 FACSIMILE  
 REVISIONS / DRAWING NO.  
 TOWN PLANNING





BUILDING ENVELOPE SET OUT AT SCHEDULE 12 OF THE DESIGN AND DEVELOPMENT OVERLAY CONTAINED IN THE PORT PHILLIP PLANNING SCHEME

Note:  
 Each apartment provides external balcony area of 8 m<sup>2</sup> minimum.  
 Minimum balcony width is 650mm to podium and 700mm to lower apartments.  
 Privacy screens are typically 1.7m high, except where abutting frontage on Level 3,  
 to minimise visibility from street and balustrades are at 1.1m high.

REVISION	DESCRIPTION	DATE
1	LOADING SET	19.09.2002
A	REVISED FOR VCAT PRELIMINARY ISSUE	23.08.2003
B	REVISED FOR VCAT	25.09.2003

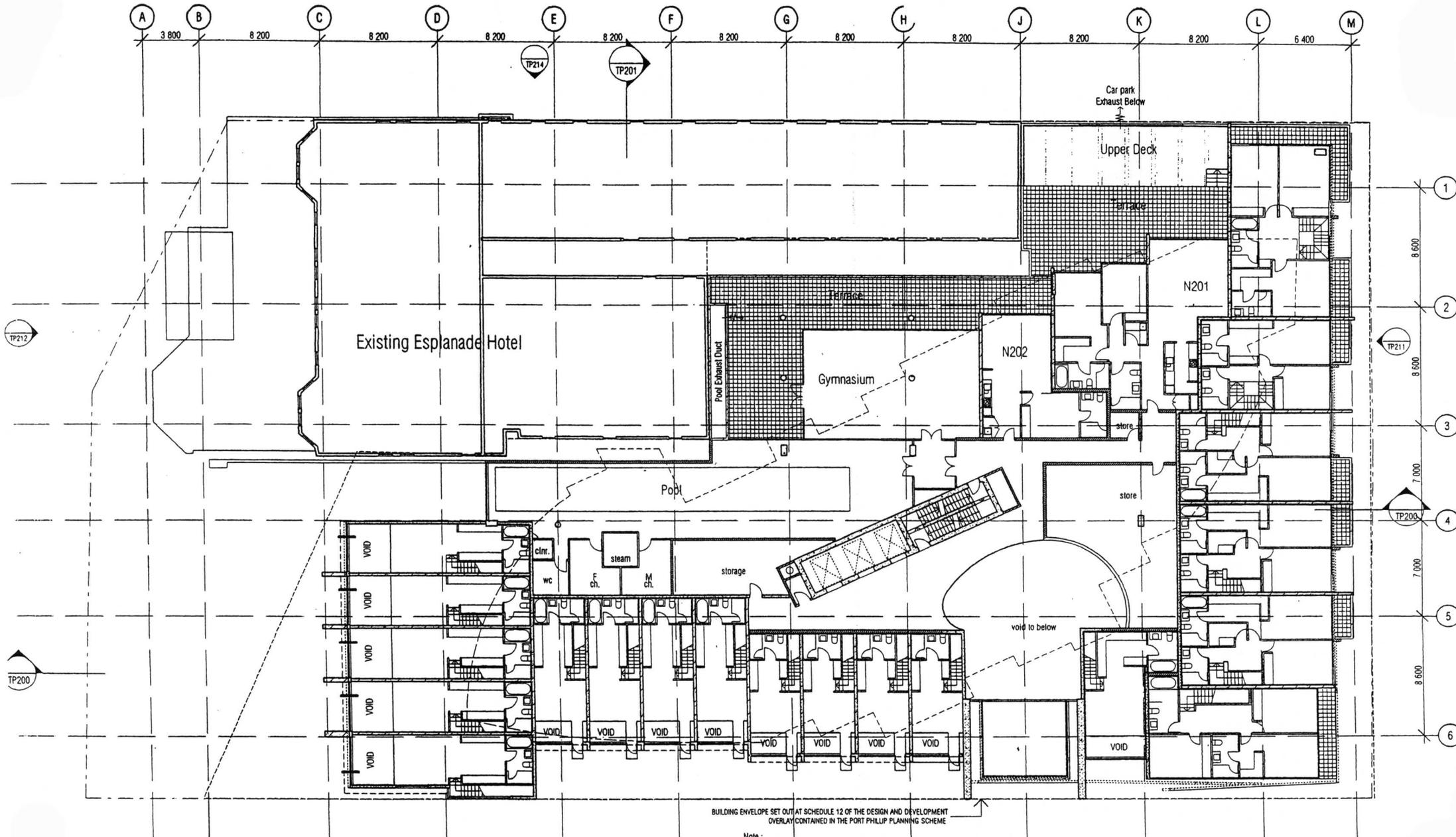
NO.	DATE	DESIGNED	CHECKED	DATE
MG	23.08.2002			23.06.2003
				20117

SCALE	PROJECT
1:100@B1 / 1:250@A3	THE ESPLANADE APARTMENTS

**FENDER WATKINS & PARTNERS ARCHITECTS**

3006 VICTORIA AUSTRALIA  
 61 3 9488 3888 TELEPHONE  
 61 3 9482 5825 FACSIMILE

DRAWING NUMBER: **TP101**



Note :  
 Each apartment provides external balcony area of 8 m2 minimum.  
 Minimum balcony width is 650mm to podium and 700mm to lower apartments.  
 Privacy screens are typically 1.7m high, except where abutting frontage on Level 3,  
 to minimise visibility from street and balustrades are at 1.1m high.

REVISION	DATE	BY
1. COMMENET SET	15.05.2001	
2. REVISED FOR FINAL PRELIMINARY ISSUE	23.06.2003	
3. REVISED FOR VCAT	25.06.2003	

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SCALE  
 1:100@B1 / 1:250@A3



**FENDER KATSALIDIS Architects**  
 70 CITY ROAD SOUTHBAK  
 3006 VICTORIA AUSTRALIA  
 61 3 8004 3080 TELEPHONE  
 61 3 8002 5825 FACSIMILE

NO.	DATE	REVISION	PREPARED BY	DATE	APPROVED BY
MS	23.06.2002			23.06.2003	20117

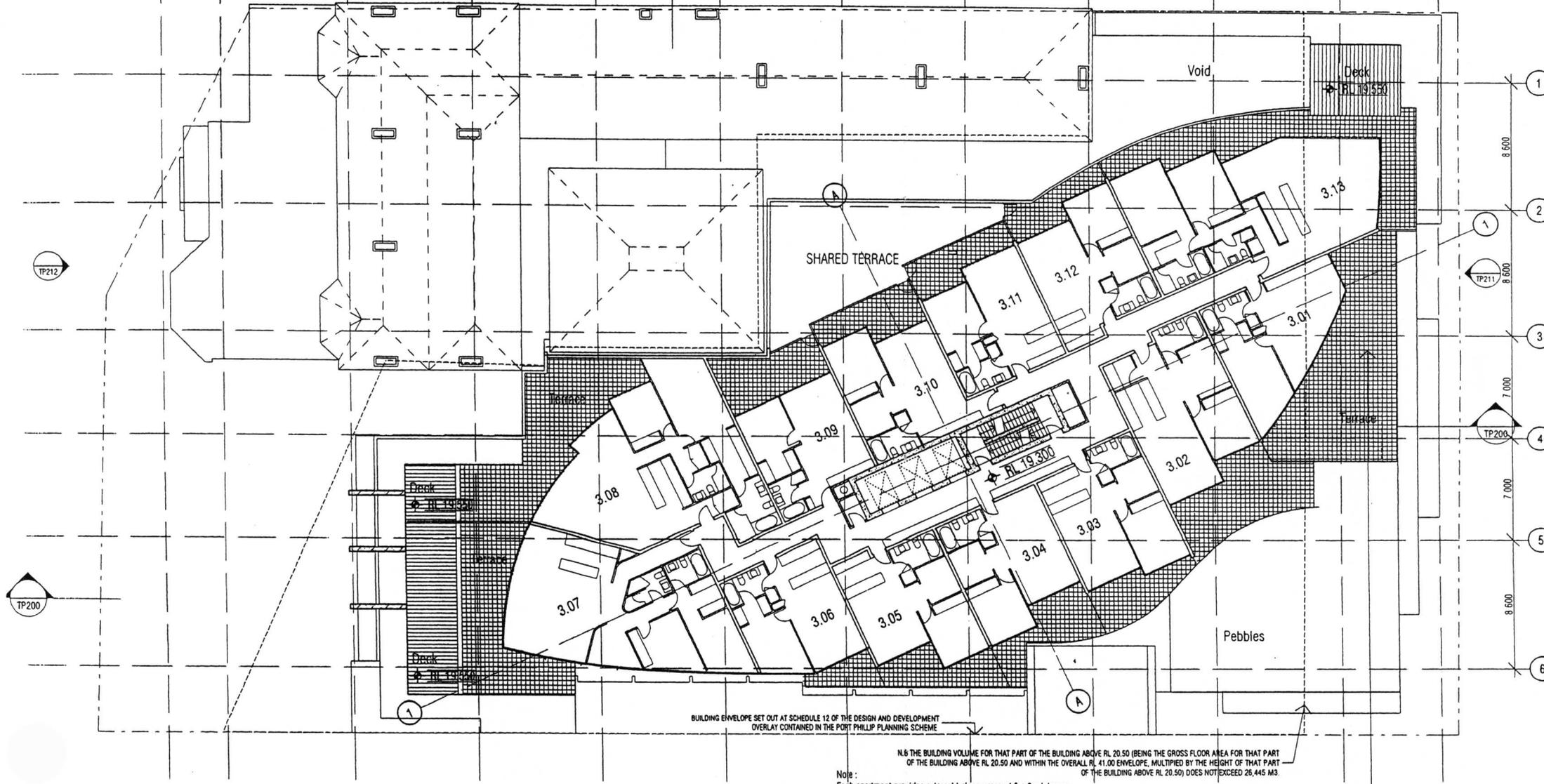
PROJECT  
 THE ESPLANADE APARTMENTS

DRAWING TITLE  
 LEVEL 2

TOWN PLANNING

TP102

A 3 800 B 8 200 C 8 200 D 8 200 E 8 200 F 8 200 G 8 200 H 8 200 J 8 200 K 8 200 L 8 200 M 6 400



BUILDING ENVELOPE SET OUT AT SCHEDULE 12 OF THE DESIGN AND DEVELOPMENT OVERLAY CONTAINED IN THE PORT PHILIP PLANNING SCHEME

N.B THE BUILDING VOLUME FOR THAT PART OF THE BUILDING ABOVE RL 20.50 (BEING THE GROSS FLOOR AREA FOR THAT PART OF THE BUILDING ABOVE RL 20.50 AND WITHIN THE OVERALL RL 41.00 ENVELOPE, MULTIPLIED BY THE HEIGHT OF THAT PART OF THE BUILDING ABOVE RL 20.50) DOES NOT EXCEED 26,445 M3.

Note:  
 Each apartment provides external balcony area of 8 m2 minimum.  
 Minimum balcony width is 650mm to podium and 700mm to lower apartments.  
 Privacy screens are typically 1.7m high, except where abutting frontage on Level 3,  
 to minimise visibility from street and balustrades are at 1.1m high.

N.B THE GROSS FLOOR AREA DOES NOT EXCEED 55M2 FOR EACH LEVEL OF THE BUILDING ABOVE RL 20.50 AND WITHIN THAT PART OF THE BUILDING ABOVE RL 20.50 AND WITHIN THAT PART OF THE BUILDING ABOVE RL 41.00 ENVELOPE INDICATED

REVISION	DATE
1. CONCEPT SET	19.09.2002
A. REVISED FOR VCAT PRELIMINARY ISSUE	23.06.2003
B. REVISED FOR VCAT	25.06.2003

DATE: Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specifications. Seek clarification of any inconsistency conditions. Figure dimensions shall be given in scaled dimensions. This drawing is COPYRIGHT and shall remain the property of FENDER KATSALIDIS (AUST) PTY LTD.

SCALE: 1:100@B1 / 1:250@A3

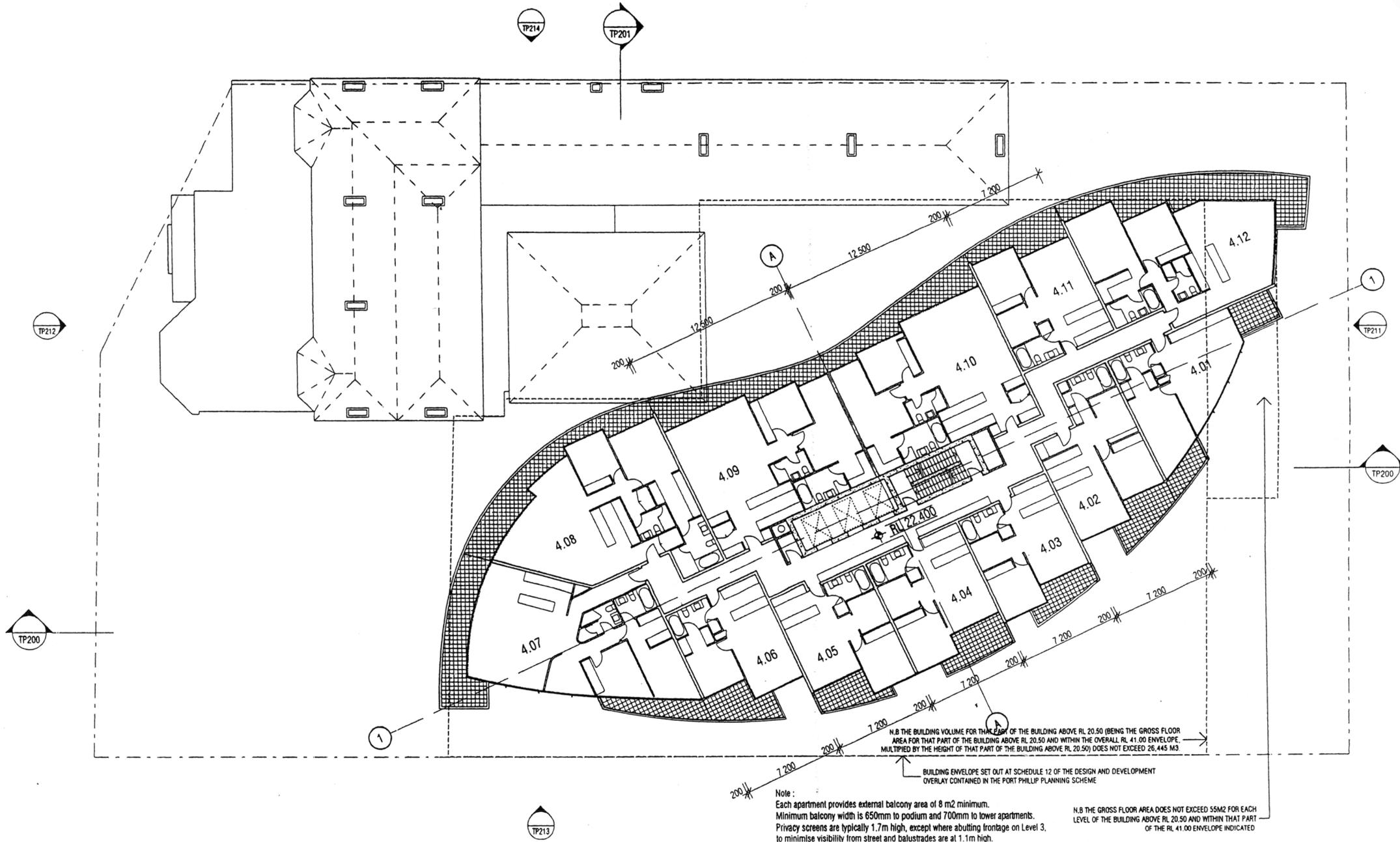
NAME	DATE	ISSUED	PLAT DATE	JOB NO.
MG	23.06.2002		23.06.2003	20117

PROJECT: THE ESPLANADE APARTMENTS

DRAWING TITLE: LEVEL 3

**FENDER KATSALIDIS Architects**  
 70 CITY ROAD SOUTHBRANK  
 3004 VICTORIA AUSTRALIA  
 61 3 8884 5888 TELEPHONE  
 61 3 8882 5925 FACSIMILE  
 DEVISION/ DRAWING NO.: B / TOWN PLANNING

TP103



REVISION	DATE
LOGGERSHET SET	19.09.2002
A REVISED FOR VCAT PRELIMINARY ISSUE	23.08.2003
B REVISED FOR VCAT	25.06.2003

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DRAWN	DATE	CHECKED	DATE	PROJECT	DATE	JOB NO.
MG	23.08.2002		23.08.2003	20117		

SCALE  
 1:100@B1 / 1:250@A3

PROJECT  
 THE ESPLANADE APARTMENTS



DRAWING TITLE  
 LEVEL 4

FENDER KATSALIDIS Architects  
 70 CITY ROAD SOUTH BANK  
 3006 VICTORIA AUSTRALIA

TEL 03 9886 8888  
 TEL 03 9886 8828  
 FAX 03 9886 8828

REGISTERED DRAWING NO.

TOWN PLANNING

TP104



N.B THE BUILDING VOLUME FOR THAT PART OF THE BUILDING ABOVE RL 20.50 (BEING THE GROSS FLOOR AREA FOR THAT PART OF THE BUILDING ABOVE RL 20.50 AND WITHIN THE OVERALL RL 41.00 ENVELOPE, MULTIPLIED BY THE HEIGHT OF THAT PART OF THE BUILDING ABOVE RL 20.50) DOES NOT EXCEED 26,445 M<sup>3</sup>.

Note:  
 Each apartment provides external balcony area of 8 m<sup>2</sup> minimum.  
 Minimum balcony width is 650mm to podium and 700mm to lower apartments.  
 Privacy screens are typically 1.7m high, except where abutting ironbark on Level 3,  
 to minimise visibility from street and balustrades are at 1.1m high.

N.B THE GROSS FLOOR AREA DOES NOT EXCEED 55M<sup>2</sup> FOR EACH LEVEL OF THE BUILDING ABOVE RL 20.50 AND WITHIN THAT PART OF THE RL 41.00 ENVELOPE INDICATED

REVISION	DATE	BY
-	16.06.2002	IL
A	23.06.2003	FP
→ B	25.06.2003	FP

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DATE	CREATED	PLAUSIBLE	JOB NO.
23.06.2002	23.06.2003	20117	

SCALE  
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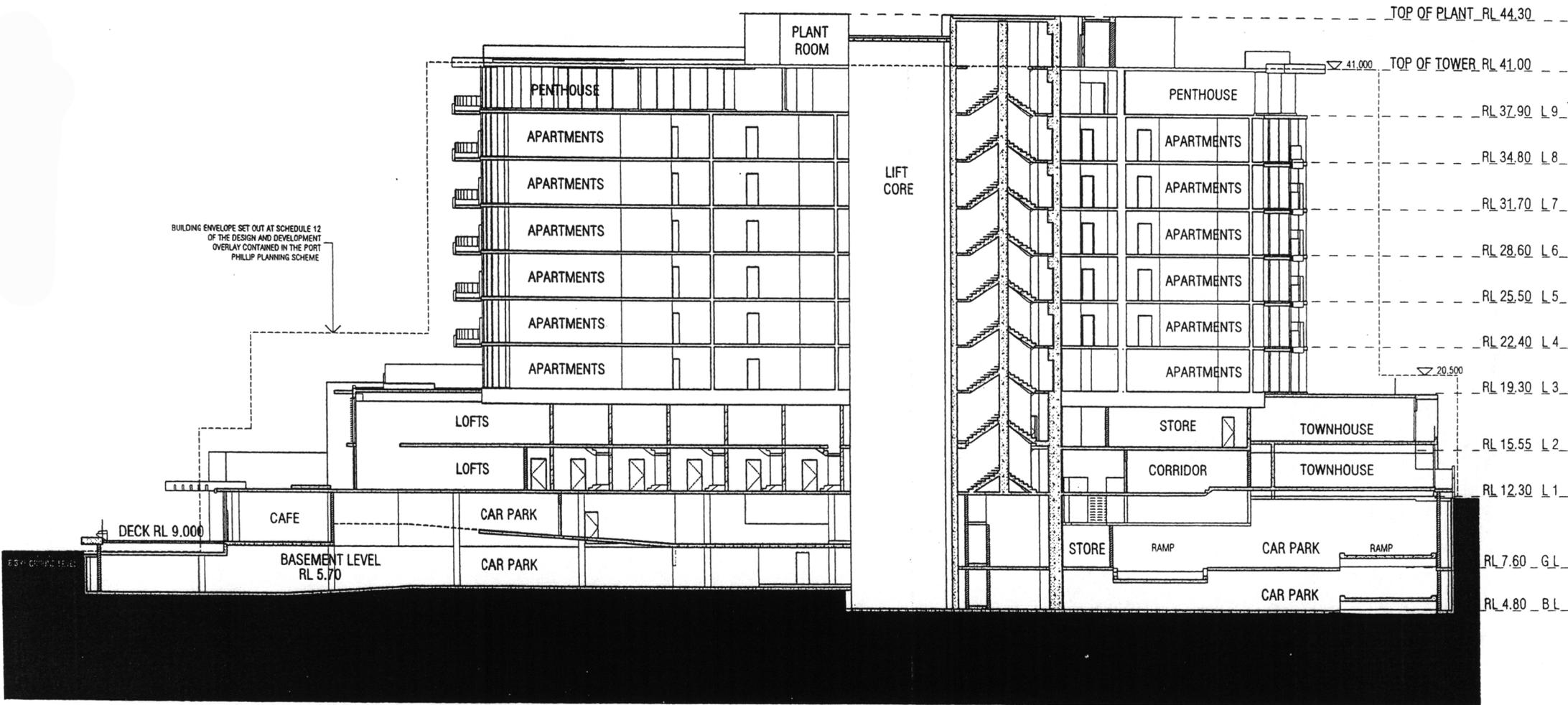
PROJECT  
 THE ESPLANADE APARTMENTS

FENDER WATKINS ARCHITECTS  
 30 CLIFTON ROAD SOUTH BAY  
 3004 VICTORIA AUSTRALIA  
 03 9888 5888 TELEPHONE  
 03 9888 5823 FACSIMILE

REVISION TITLE  
 LEVEL 9

REVISIONS DRAWN BY  
 B TOWN PLANNING

TP109



REVISION	DESCRIPTION	DATE
-	LOADING SET	18.09.2002
A	REVISED FOR VCAT PRELIMINARY ISSUE	21.06.2003
→ B	REVISED FOR VCAT	25.06.2003

**DATE**  
 Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specifications. Seek clarification of inconsistencies/ conflicts. Figure dimensions shall take precedence in scaled dimensions.  
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**SCALE**  
 1:100@B1 / 1:250@A3

NO.	DATE	ISSUED BY	PLANNING	JOB NO.
EL	06.09.2002		23.06.2003	20117

**PROJECT**  
 THE ESPLANADE APARTMENTS

**DRAWING TITLE**  
 SECTION A-A

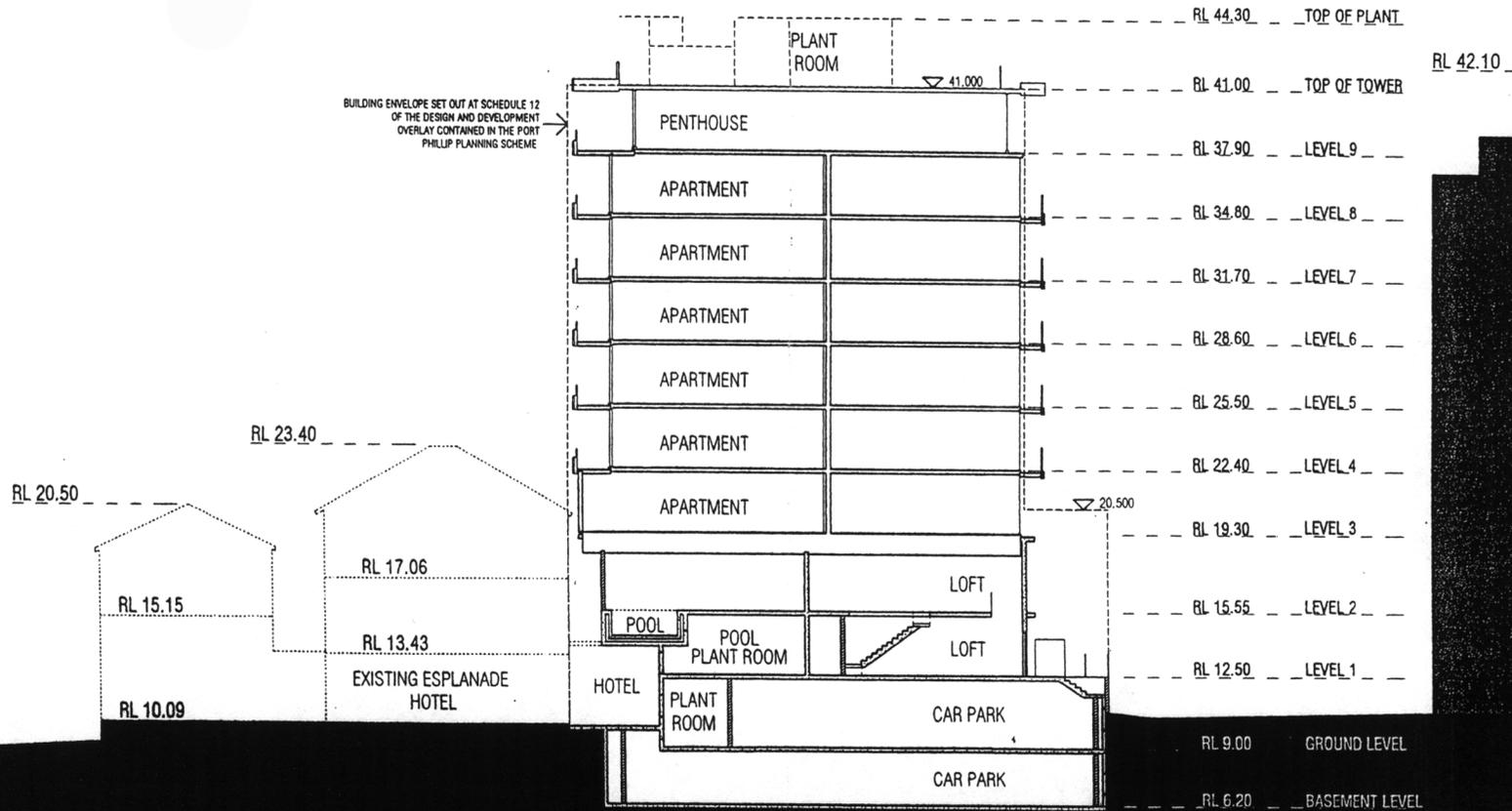
**FENDER KATSALIDIS Architects**

70 CITY ROAD SOUTHBRANK  
 3006 VICTORIA AUSTRALIA  
 61 3 9060 9000 TELEPHONE  
 61 3 9062 9020 FACSIMILE

REGISTRY NUMBER 01  
 TOWN PLANNING

TP200

RL 58.10



POLLINGTON STREET

VICTORIA STREET

REVISION	DATE
1	18.09.2002
A	23.08.2003
→ 2	21.06.2003

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SCALE: 1:100@B1 / 1:250@A3

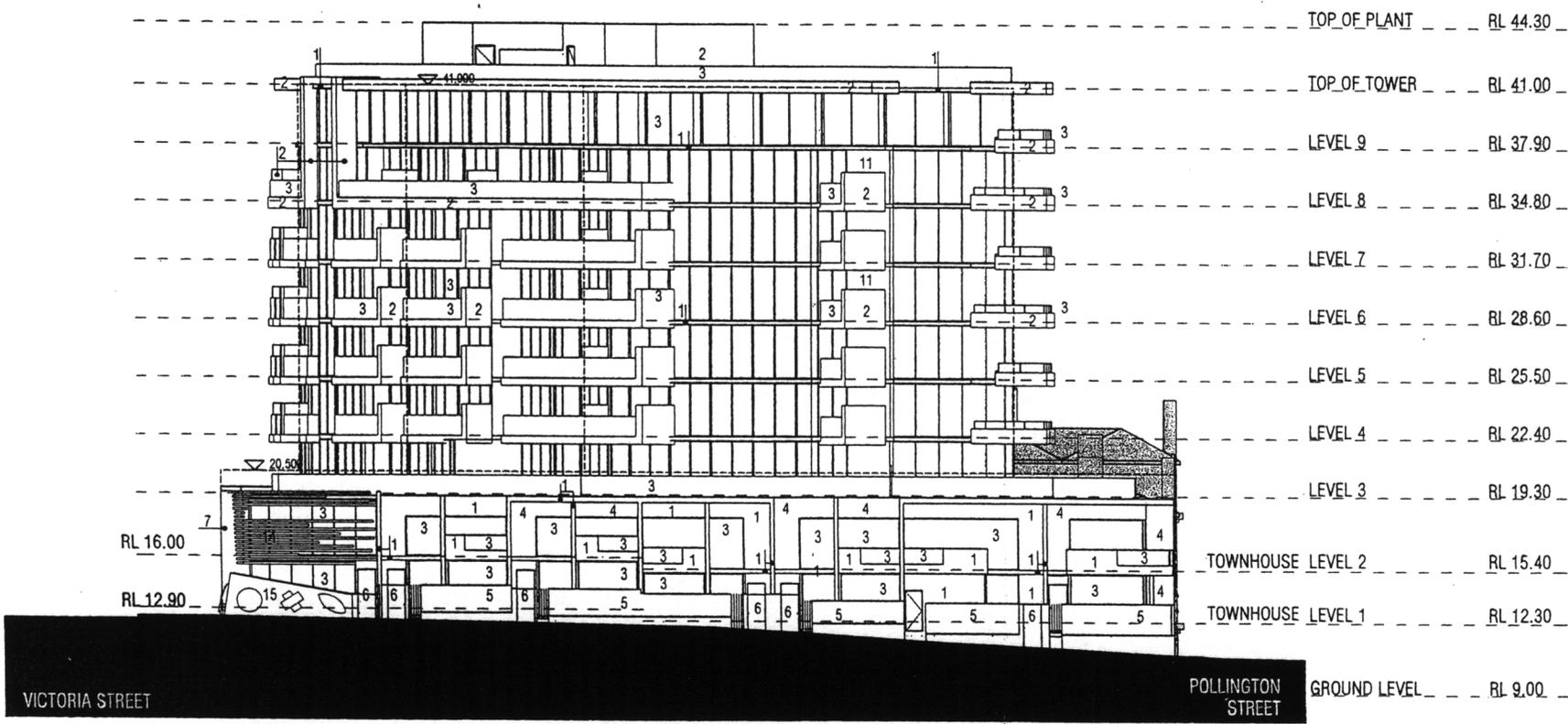
**FENDER KATSALIDIS Architects**  
 70 CITY ROAD SOUTHBRANK  
 3006 VICTORIA AUSTRALIA  
 01 3 8888 3088 TELEPHONE  
 01 3 8888 3028 FACSIMILE

DATE	RECORDED	PLATNO	ISSUED
06.09.2002		23.06.2003	20117

PROJECT: THE ESPLANADE APARTMENTS

SECTION B-B

TP201



**LEGEND**

- |  |   |   |  |
|--|---|---|--|
| 1. Rendered painted concrete                 | 5. Fence, rendered blockwork with metal grille infills, with timber dividing screen | 8. Metal (Corten) cladding              | 12. Precast textured coloured concrete     |
| 2. Painted precast concrete                  | 6. Gate / Balustrade black steel to detail  | 9. Cedar mullions                       | 13. Metal framing                          |
| 3. Glazing / balustrade glazing              | 7. Limestone cladding / paving  | 10. Timber deck with limestone surround | 14. Timber louvres                         |
| 4. Timber cladding / Ironbark door / pergola |   | 11. Corrugated concrete panel           | 15. In situ concrete wall with feature art |

REVISION	NO	DATE
·	1	18.09.2002
A	2	21.06.2003
→ B	3	25.08.2003

NO	DATE	REVISION	PLT DATE	JOB NO.
NO	12.09.2002		23.06.2003	20117

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**SCALE**  
 1:100@B1 / 1:250@A3

NO	DATE	REVISION	PLT DATE	JOB NO.
NO	12.09.2002		23.06.2003	20117

**PROJECT**  
 THE ESPLANADE APARTMENTS

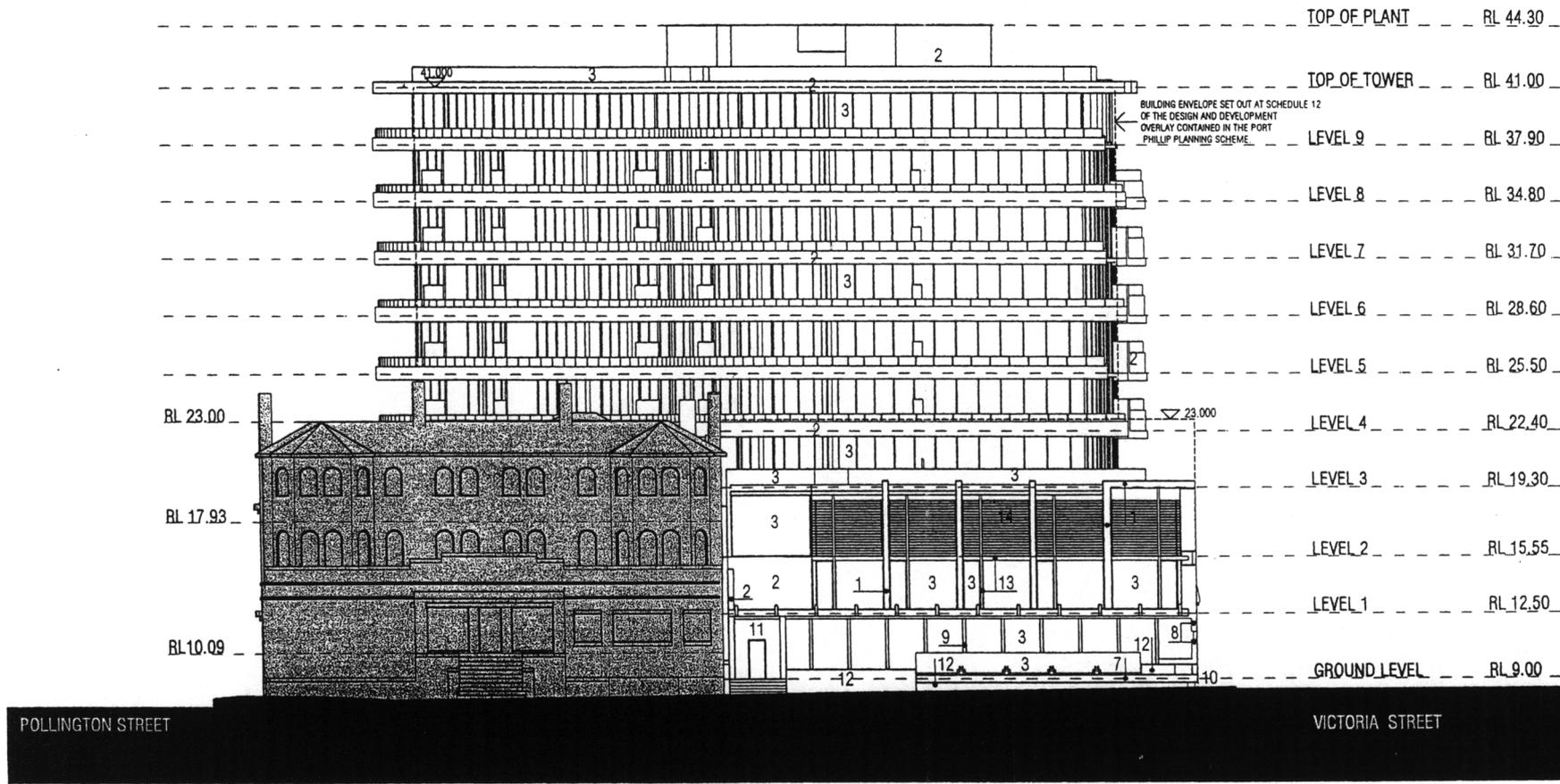
**REVISION**  
 NORTH ELEVATION

**FENDER KATSALIDIS Architects**

10 CITY ROAD SOUTHBRANK  
 3086 VICTORIA AUSTRALIA  
 61 3 9466 2000 TELEPHONE  
 61 3 9462 9225 FACSIMILE

REVISION NUMBER 00  
 B TOWN PLANNING

TP211



**LEGEND**

- |  |  |   |   |
|--|--|---|---|
| 1. Rendered painted concrete                 | 5. Fence, rendered blockwork with metal grille inlets, with timber dividing screen | 8. Metal (Corten) cladding              | 12. Precast textured coloured concrete    |
| 2. Painted precast concrete                  | 6. Gate / Balustrade black steel to detail   | 9. Cedar mullions                       | 13. Metal framing                         |
| 3. Glazing / balustrade glazing              | 7. Limestone cladding / paving   | 10. Timber deck with limestone surround | 14. Timber louvers                        |
| 4. Timber cladding / Ironbark door / pergola |  | 11. Corrugated concrete panel           | 15. Insitu concrete wall with feature art |

REVISION	DESCRIPTION	NO.	DATE
	ADJUSTMENT SET	10	15/01/2002
A	REVISED FOR YEAR PRELIMINARY ISSUE	11	23/06/2003
B	REVISED FOR YEAR	12	25/06/2003

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**SCALE**  
 1:100@B1 / 1:250@A3

ORIGIN	DATE	DESIGNER	PLAT DATE	JOB NO.
NO	12.08.2002		23.06.2003	20117

**PROJECT**  
 THE ESPLANADE APARTMENTS

**DRAWING TITLE**  
 SOUTH ELEVATION

**FENDER KATSALIDIS Architects**  
 70 CITY ROAD SOUTHBANK  
 3006 VICTORIA, AUSTRALIA  
 61 3 9888 8888 TELEPHONE  
 61 3 9882 8825 FACSIMILE  
 ADVISORY DRAWING NO. 1  
 TOWN PLANNING

TOP OF PLANT RL 44.30

TOP OF TOWER RL 41.00

LEVEL 9 RL 37.90

LEVEL 8 RL 34.80

LEVEL 7 RL 31.70

LEVEL 6 RL 28.60

LEVEL 5 RL 25.50

LEVEL 4 RL 22.40

LEVEL 3 RL 19.30

LEVEL 2 RL 15.55

LEVEL 1 RL 12.50

THE ESPLANADE

GROUND LEVEL RL 9.00

BUILDING ENVELOPE SET OUT AT SCHEDULE 12 OF THE DESIGN AND DEVELOPMENT OVERLAY CONTAINED IN THE PORT PHILLIP PLANNING SCHEME

23.000

20.500

RL 16.00

RL 12.90

LEGEND

- 1. Rendered painted concrete
- 2. Painted precast concrete
- 3. Glazing / balustrade glazing
- 4. Timber cladding / Ironbark door / pergola

- 5. Fence, rendered blockwork with metal grille inlets, with timber dividing screen
- 6. Gate / Balustrade black steel to detail
- 7. Limestone cladding / paving

- 8. Metal (Corten) cladding
- 9. Cedar mullions
- 10. Timber deck with limestone surround
- 11. Corrugated concrete panel

- 12. Precast textured coloured concrete
- 13. Metal framing
- 14. Timber louvres
- 15. In situ concrete wall with feature art

REVISION	DESCRIPTION	NO	DATE
A	REVISED FOR VCAT PRELIMINARY ISSUE	PP	23.06.2006
B	REVISED FOR VCAT	PP	25.06.2003

NOTES  
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SCALE  
1:100@B1 / 1:250@A3

NO	DATE	CREATED	PLANNING	NO.
	12.09.2002		23.06.2006	20117

PROJECT  
THE ESPLANADE APARTMENTS

DRAWING TITLE  
EAST ELEVATION

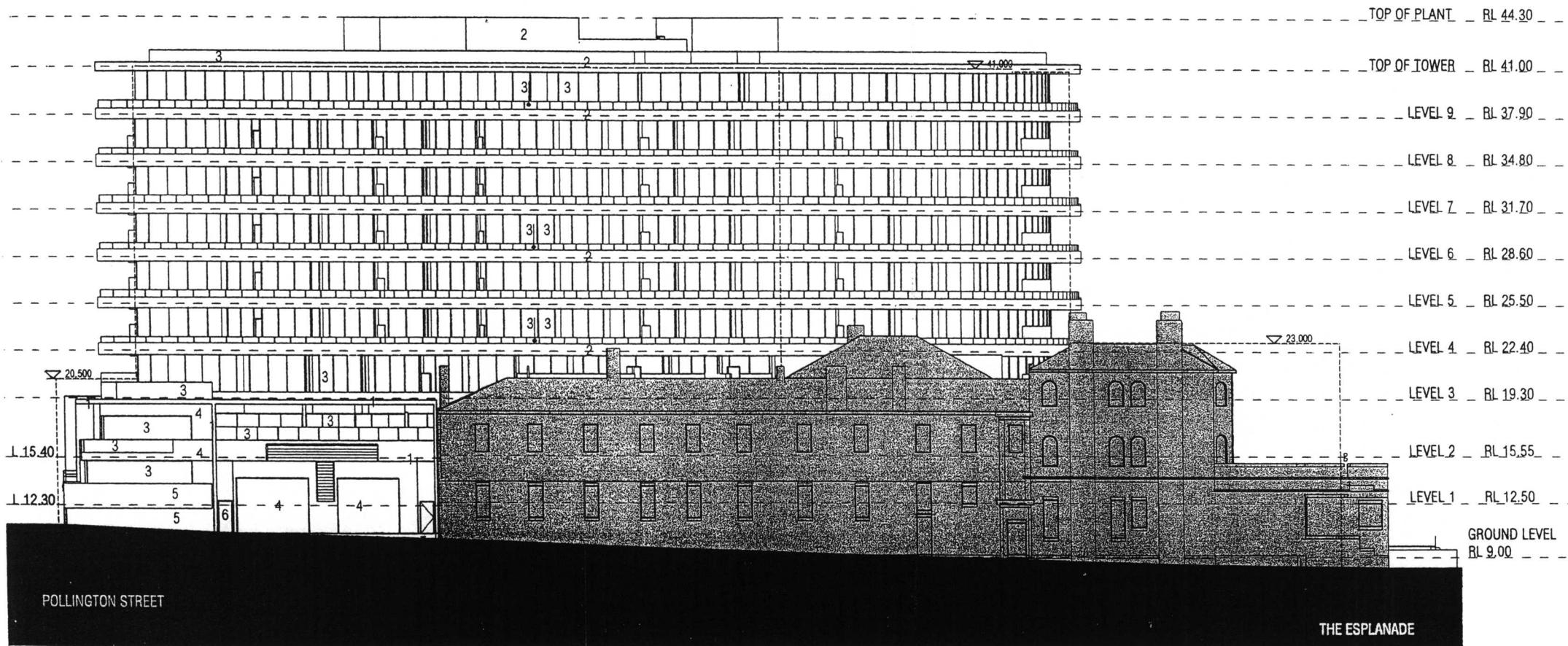
FENDER KATSALIDIS Architects  
LEVEL 40/4000 MCGILL STREET MELBOURNE VIC 3000

70 CITY ROAD SOUTHBANK  
3006 VICTORIA AUSTRALIA  
61 3 8888 8888 TELEPHONE  
61 3 8882 8825 FACSIMILE

AUTHOR/ DRAWING BY

B TOWN PLANNING

TP213



POLLINGTON STREET

THE ESPLANADE

**LEGEND**

- |  |   |   |   |
|--|---|---|---|
| 1. Rendered painted concrete                 | 5. Fence, rendered blockwork with metal grille infills, with timber dividing screen | 8. Metal (Corten) cladding              | 12. Precast textured coloured concrete    |
| 2. Painted precast concrete                  | 6. Gate / Balustrade black steel to detail  | 9. Cedar mullions                       | 13. Metal framing                         |
| 3. Glazing / balustrade glazing              | 7. Limestone cladding / paving  | 10. Timber deck with limestone surround | 14. Timber louvres                        |
| 4. Timber cladding / Ironbark door / pergola |   | 11. Corrugated concrete panel           | 15. Insitu concrete wall with feature art |

REVISION	NO	DATE
1	19.09.2002	
2	21.06.2003	
3	25.06.2003	

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NO	DATE	REVISION	PROJECT
1	12.09.2002		
2	23.06.2003		
3	20117		

SCALE  
1:100@B1 / 1:250@A3

PROJECT  
THE ESPLANADE APARTMENTS

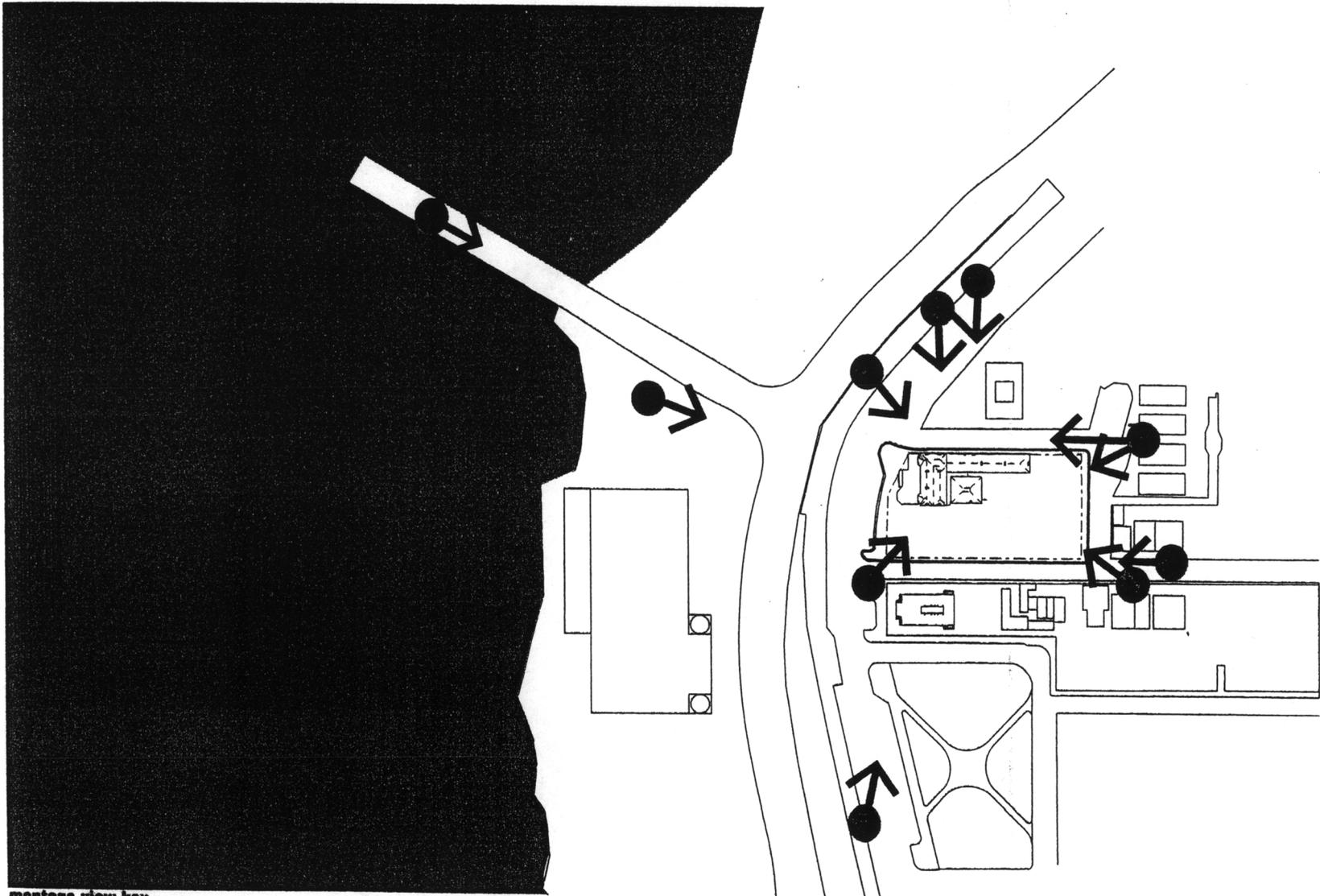
FENDER KATSALEDIS Architects  
308 CITY ROAD SOUTHBRANK  
3008 VICTORIA AUSTRALIA

61 3 8888 2888 TELEPHONE  
61 3 8888 2828 FACSIMILE

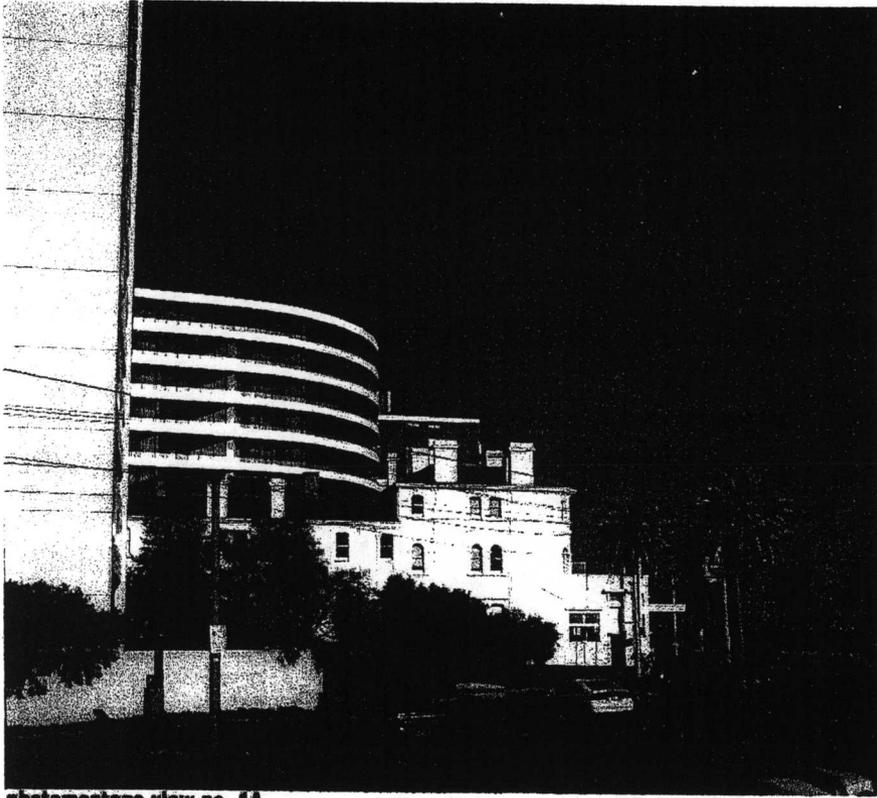
DRAWING TITLE  
WEST ELEVATION

REVISION: NUMBER N.  
TOWN PLANNING

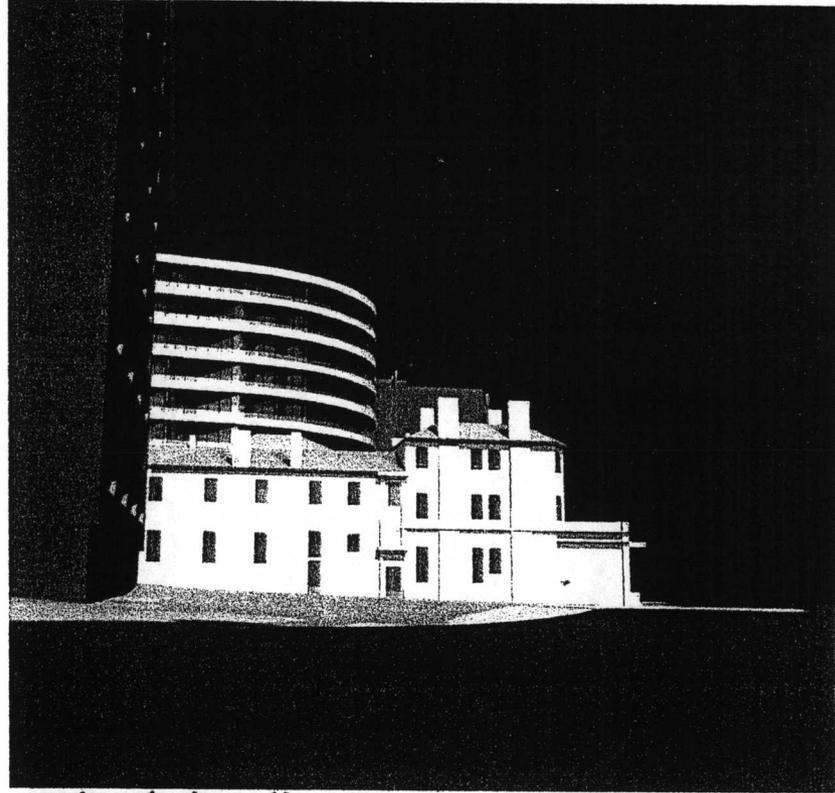
TP214



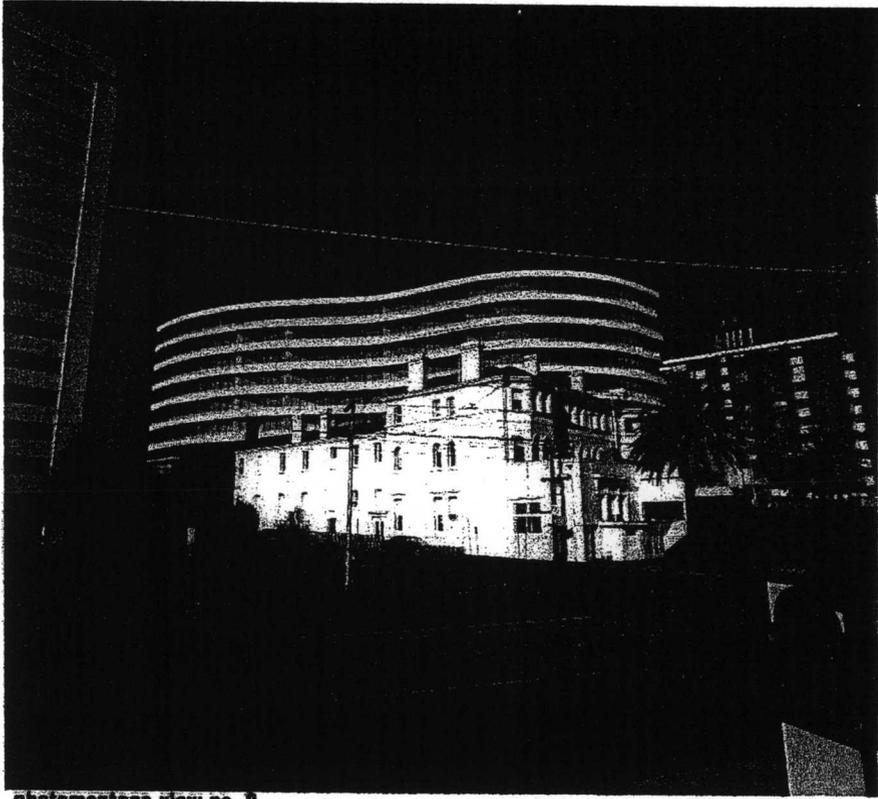
montage view key



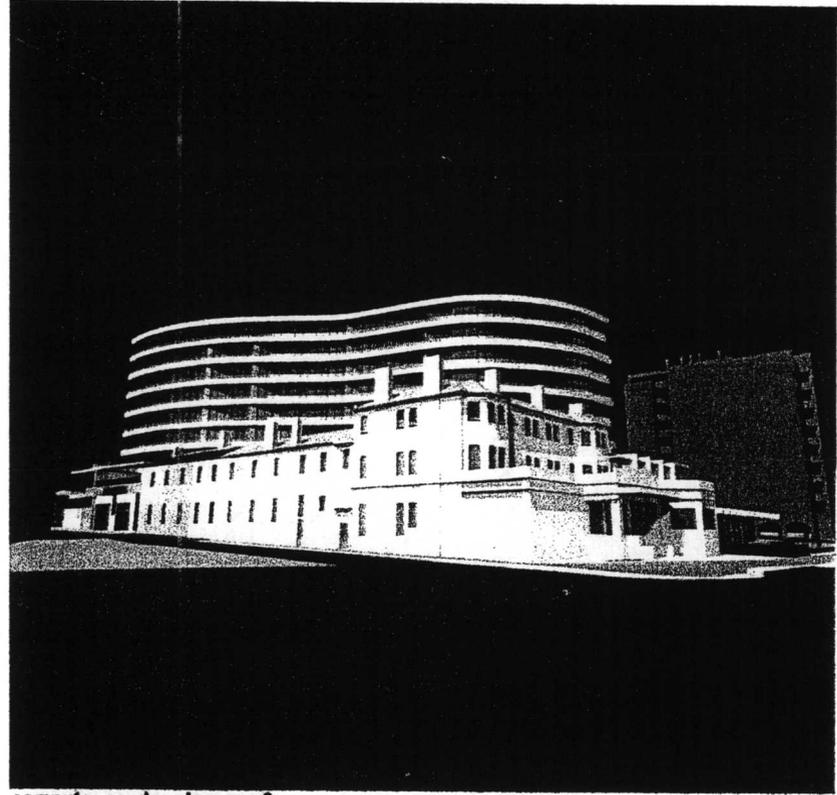
**photomontage view no. 1A**



**computer render view no. 1A**



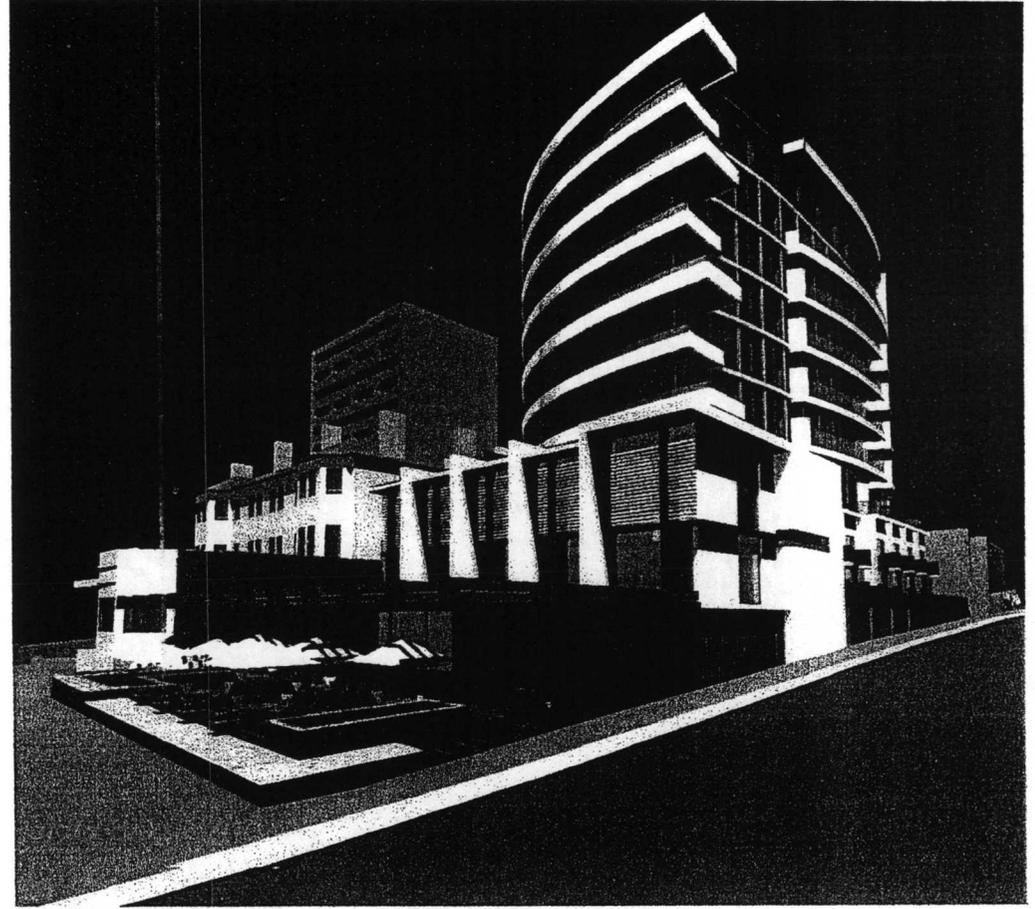
**photomontage view no. 2**



**computer render view no. 2**



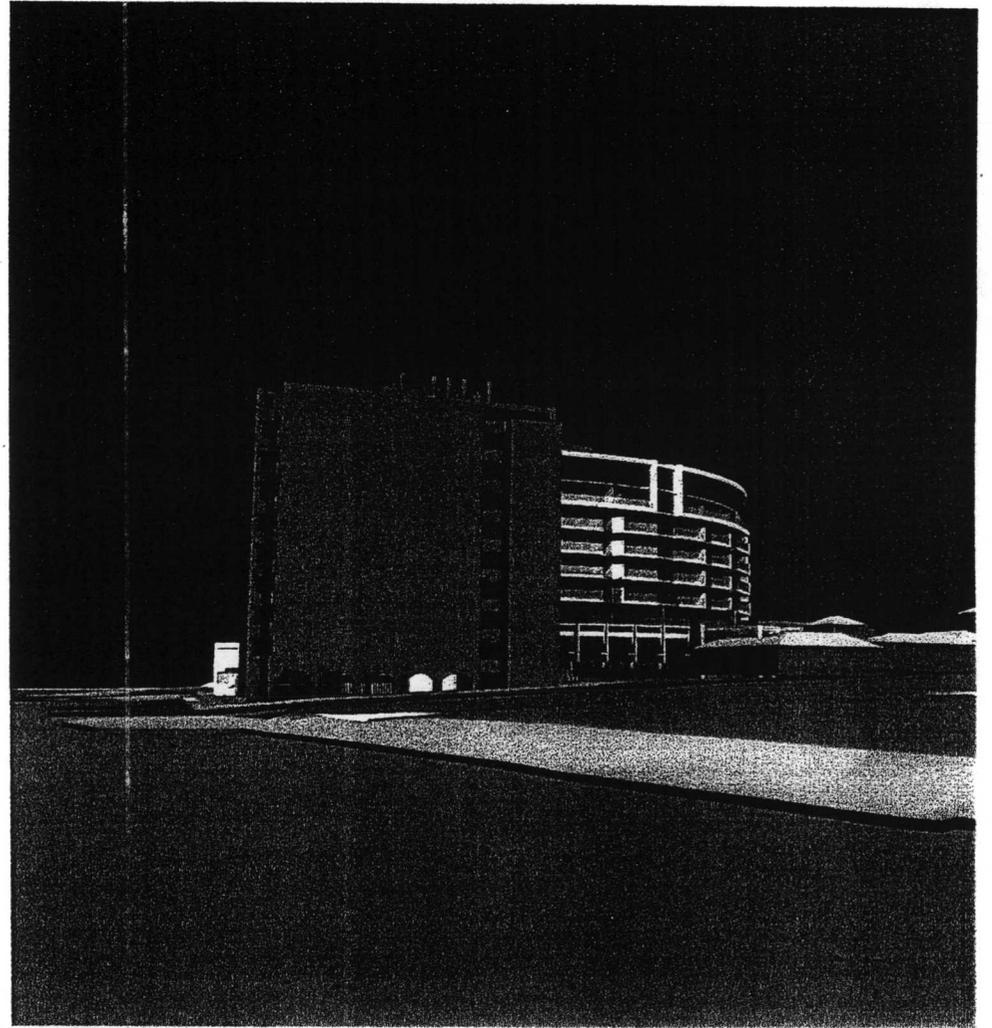
photomontage view no. 4



computer render view no. 4



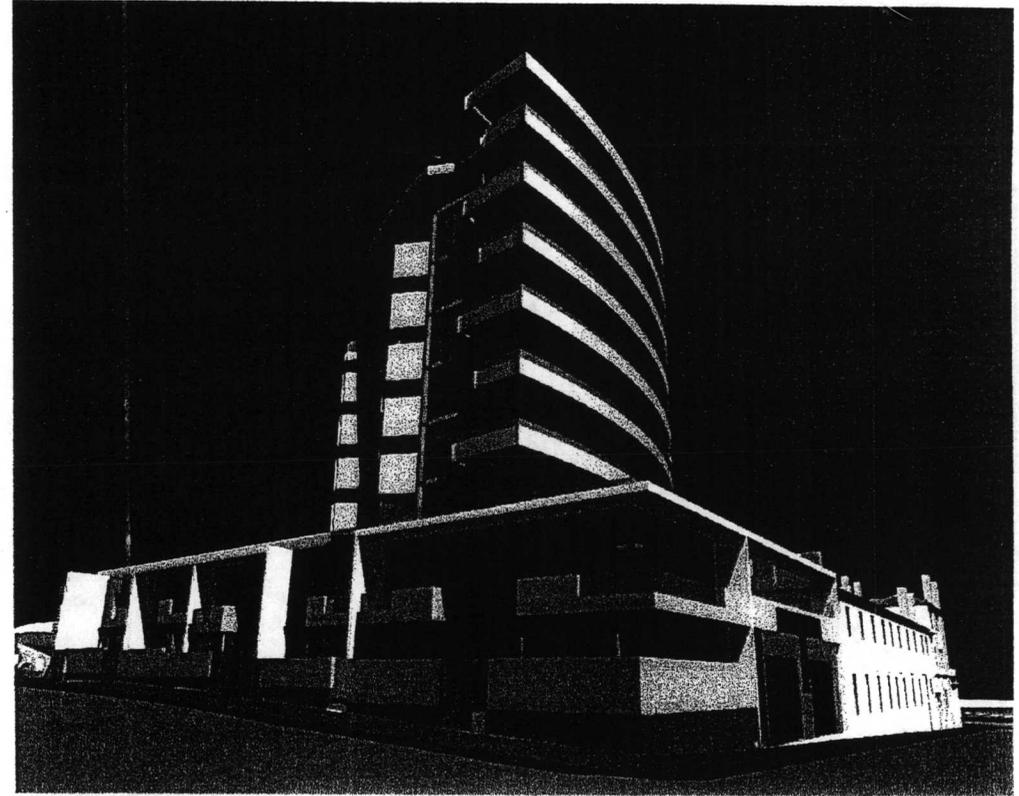
photomontage view no. 5



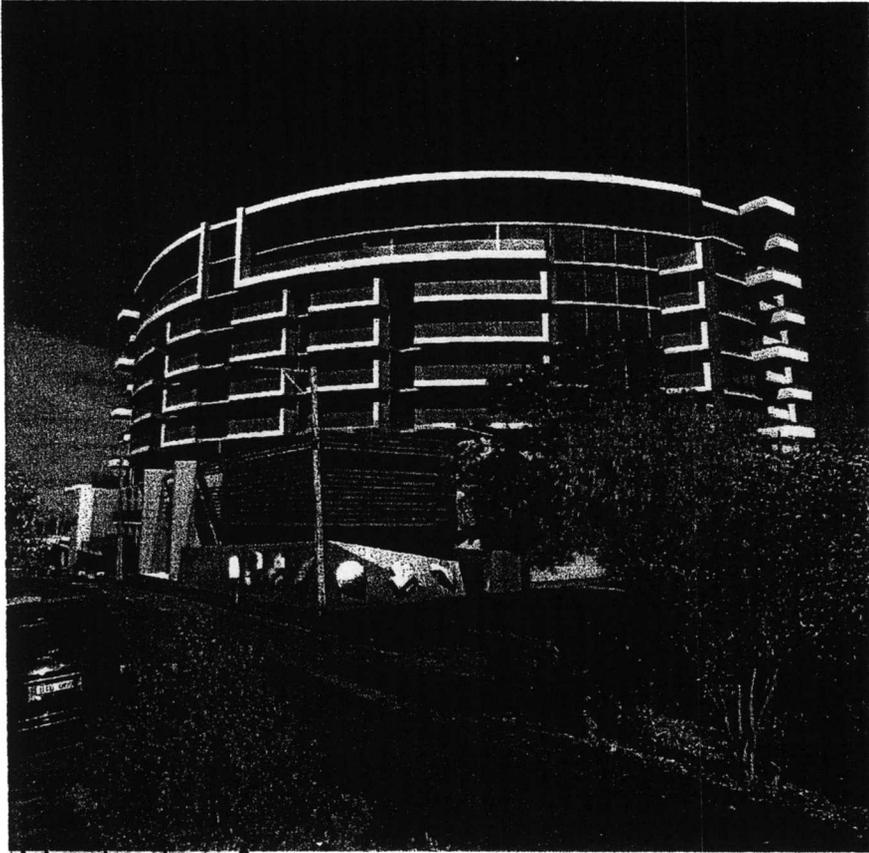
computer render view no. 5



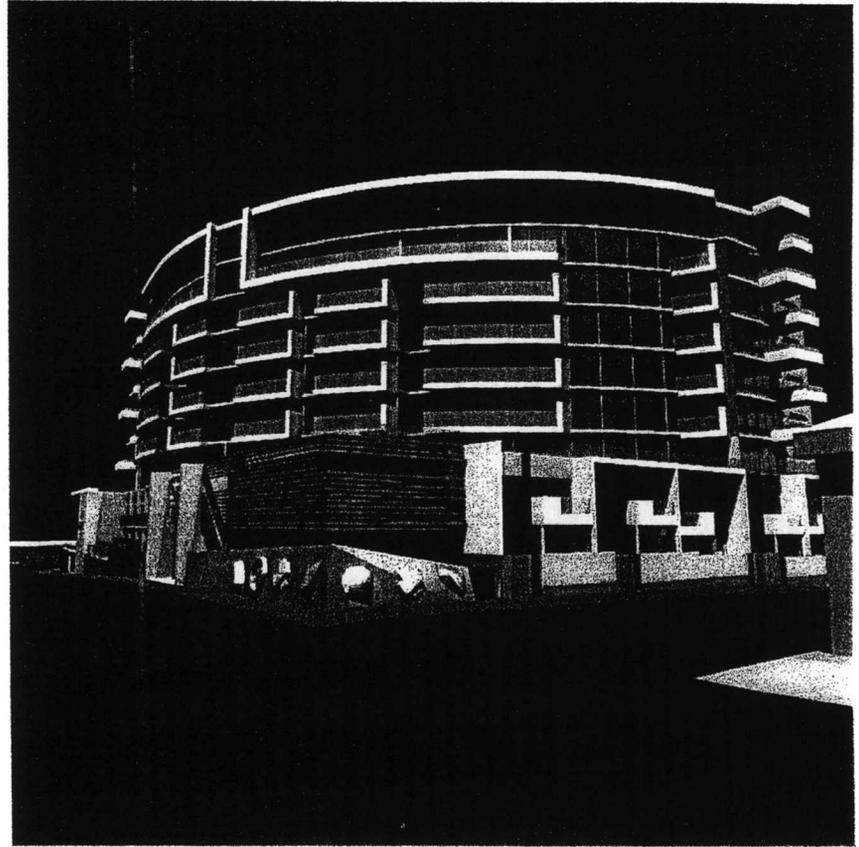
photomontage view no. 6



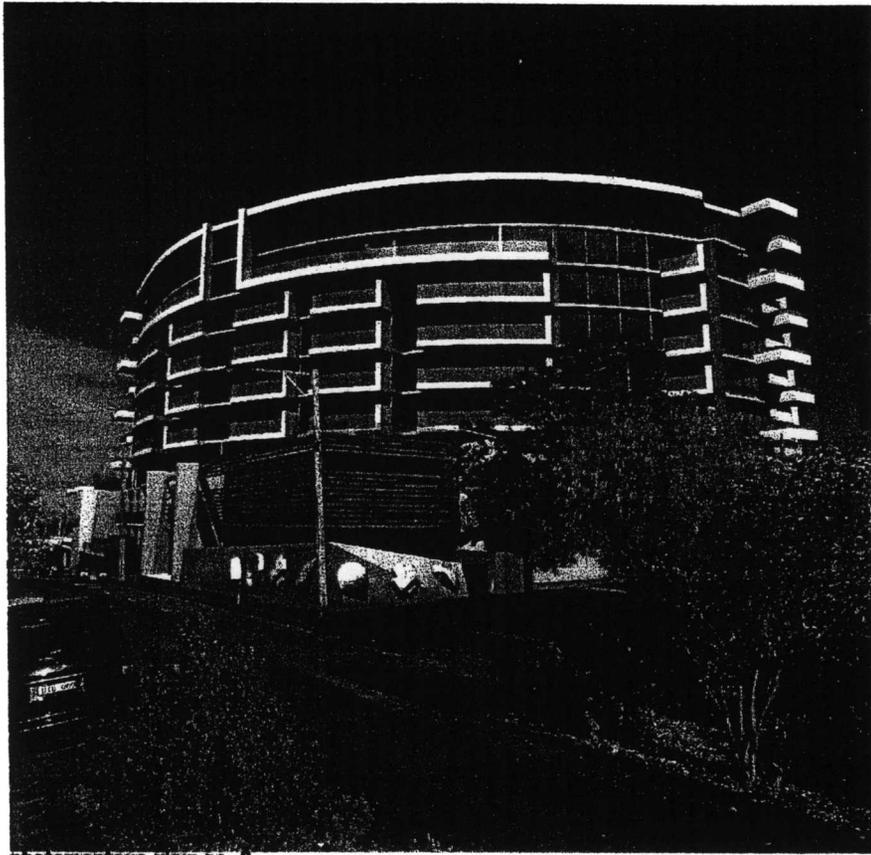
computer render view no. 6



photomontage view no. 8



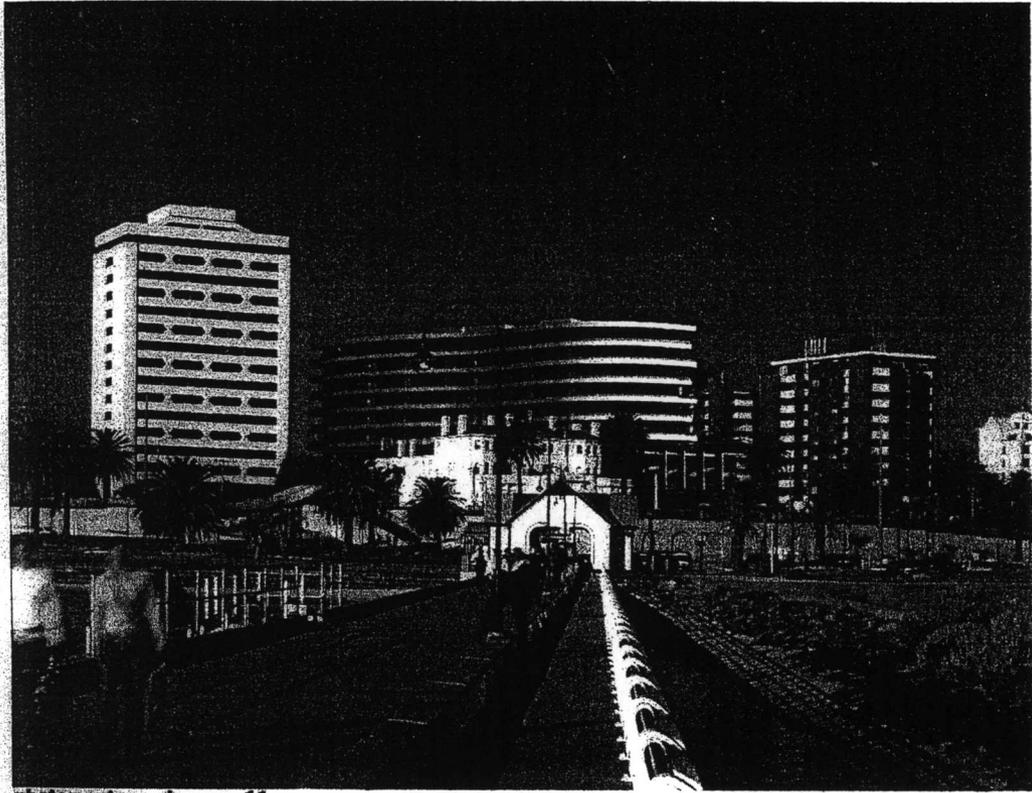
computer render view no. 8



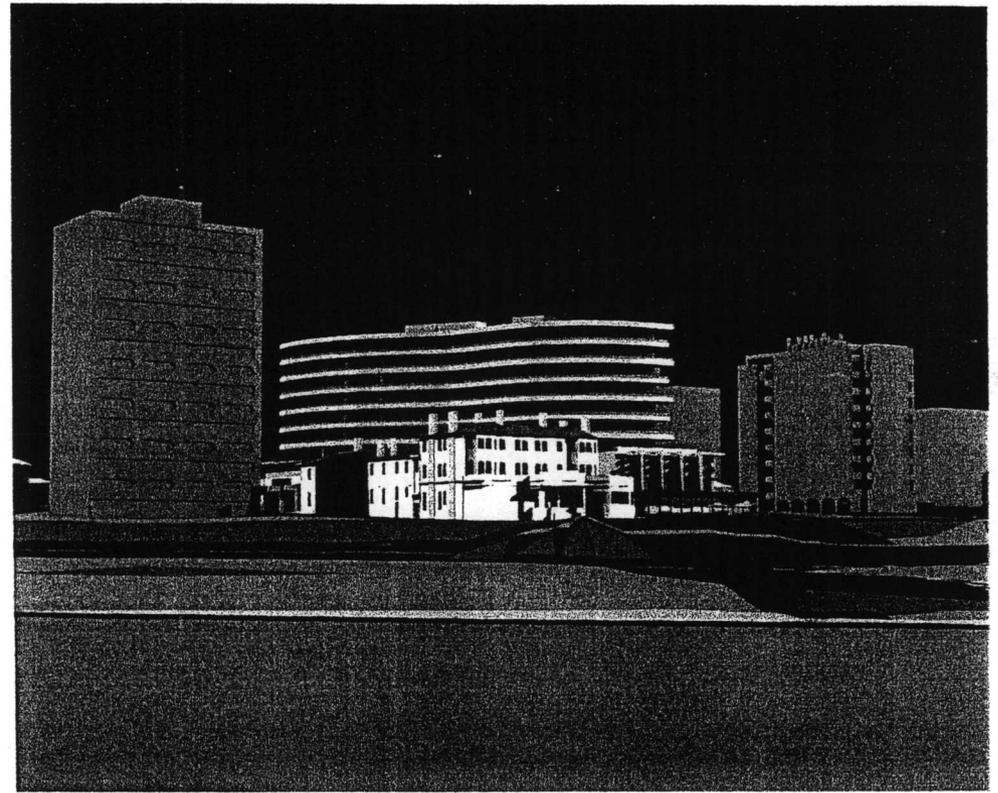
photomontage view no. 8



computer render view no. 8



**photomontage view no. 11**



**computer render view no. 11**